

City of Vancouver *Zoning and Development By-law*

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CD-1 (357)

2725 Arbutus Street

By-law No. 7654

(Being a By-law to Amend By-law 3575, being the Zoning and Development By-law)

Effective November 5, 1996

(Amended up to and including By-law No. 8760, dated December 9, 2003)

Guidelines:

Arbutus/Vine Industrial Area

CD-1 Guidelines

1 *[Section 1 is not reprinted here. It contains a Standard clause amending Schedule D (Zoning District Plan) to reflect this rezoning to CD-1.]*

2 **Intent**

The intent of this By-law is to permit the development of the site with residential uses, in a form which complements, and is compatible with the character of adjacent areas but also to permit commercial uses along Arbutus Street and West 11th Avenue between Arbutus Street and the newly dedicated street to the west.

Development on the site will be consistent with the following objectives:

- (a) achieve a built form which is complementary to the form of development of adjacent areas of Kitsilano, which may include both residential and industrial character;
- (b) achieve housing consistent with the principle of livability and other social and environmental objectives;
- (c) provide pedestrian links to adjacent areas; and
- (d) provide adequate on-site parking and loading spaces for all uses within the site.

3 **Definitions**

Words used in this By-law will have the meaning assigned to them in the Zoning and Development By-law with the following addition:

Interim Use means any use not specifically listed in this By-law and intended to be of only temporary duration.

4 **Uses**

The area shown included within the heavy black outline on Schedule “A” shall be more particularly described as CD-1 (357), and the only uses permitted within the outlined area, subject to such conditions as Council may by resolution prescribe, and the only uses for which development permits will be issued are:

- (a) Child Day Care Facility;
- (b) Cultural and Recreational Uses;
- (c) Dwelling Units with a minimum of 40 dwelling units, or if more than 135 dwelling units are development. 30 percent of the total number of dwelling units will be developed as two bedrooms or ore and generally designed in accordance with the Council adopted “High Density Housing for Families with Children Guidelines”;
[7774; 97 0 7 22]
- (d) Park or Playground;
- (e) The following uses limited to a total floor area of 1,050 m² and restricted to Arbutus Street and West 11th Avenue between Arbutus Street and the newly dedicated street to the west;
 - (i) Office Uses;
 - (ii) Retail Uses; but not including Adult Retail Store, Gasoline Station - Full Serve, Gasoline Station - Split Island and Vehicle Dealer;
 - (iii) Service Uses; but not including Bed and Breakfast Accommodation, Body-rub Parlour, Drive-through Service, Funeral Home, Laboratory, Laundry or Cleaning Plant, Motor Vehicle Repair Shop, Motor Vehicle Wash, Photo finishing or Photography Laboratory, Repair Shop - Class A, and Sign Painting Shop.
- (f) Accessory Uses customarily ancillary to the above uses; and
- (g) Interim Uses and Accessory Uses customarily ancillary thereto provided that:
 - (i) the Development Permit Board considers that the use will be compatible with and not adversely affect adjacent development that either exists or is permitted by this By-law;
 - (ii) the Development Permit Board is satisfied that the use can be easily removed, and is of low intensity or low in capital investment;

Note: *Information included in square brackets [] identifies the by-law numbers and dates for the amendments to By-law No. 7654 or provides an explanatory note.*

- (iii) the Development Permit Board is satisfied that there is not increase in risk to the public from contaminated soils either on or adjacent to the subject site; and
- (iv) development permits are limited in time to periods not exceeding 3 years.

5 Floor Space Ratio

5.1 The Development Permit Board may permit a maximum floor space ratio of up to 1.90 provided that it first considers:

- (a) all applicable policies and guidelines adopted by Council;
- (b) the bulk, location and overall design of a building and its effect on the site, surrounding buildings and streets;
- (c) the design and livability of any dwelling uses; and
- (d) the provision of open space, including private patios and balconies and useable common areas.

For the purpose of computing floor space ratio, the site is all parcels covered by this By-law, and is deemed to be 6 271 m², being the site size at time of application for rezoning, prior to any dedications.

5.2 The following will be included in the computation of floor space ratio:

- (a) all floors having a minimum ceiling height of 1.2 m, including earthen floor, both above and below ground level, to be measured to the extreme outer limits of the building; and
- (b) stairways, fire escapes, elevator shafts and other features which the Director of Planning considers similar, to be measured by their gross cross-sectional areas and included in the measurements for each floor at which they are located.

5.3 The following will be excluded in the computation of floor space ratio:

- (a) open residential balconies or sundecks, and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that the total area of all open residential balconies or sundecks, and any other appurtenances does not exceed 8 percent of the residential floor area being provided;
- (b) patios and roof gardens for residential purposes only, provided that the Director of Planning first approves the design of sunroofs and walls;
- (c) where floors are used for off-street parking and loading, bicycle storage, heating and mechanical equipment, or uses which in the opinion of the Director of Planning are similar to the foregoing, those floors or portions thereof so used which are at or below the base surface;
- (d) amenity areas, accessory to a residential use, including recreation facilities and meeting rooms, provided that the total area being excluded shall not exceed 40 m² for each development parcel, except in the case of non-market housing where the area shall not exceed 100 m²;
- (e) areas of undeveloped floors which are located:
 - (i) above the highest storey or half-storey and to which there is no permanent means of access other than a hatch; or
 - (ii) adjacent to a storey or half-storey with a ceiling height of less than 1.2 m; and
- (f) all residential storage space above or below base surface, except that if the residential storage space above base surface exceeds 3.7 m² per dwelling unit, there will be no exclusion for any of the residential storage space above base surface for that unit; [8760; 03 12 09]
- (g) where exterior walls greater than 152 mm in thickness have been recommended by a Building Envelope Professional as defined in the Building By-law, the area of the walls exceeding 152 mm, but to a maximum exclusion of 152 mm thickness, except that this clause shall not apply to walls in existence prior to March 14, 2000. [8169; 00 03 14]

5.4 The Director of Planning may permit the following to be excluded in the computation of floor space ratio:

- (a) enclosed residential balconies, provided that the Director of Planning first considers all applicable policies and guidelines adopted by Council and approves the design of any balcony enclosure, subject to the following:
 - (i) the total area of all open and enclosed balcony or sundeck exclusions does not exceed eight percent of the residential floor area being provided; and
 - (ii) no more than fifty percent of the excluded balcony floor area may be enclosed.

[7874; 98 04 21]

6 Height

- 6.1** The maximum building height, measured above the base surface, is 15.3 m subject to the relaxation of limitations on building heights set out in Section 10.11.1 of the Zoning and Development By-law.
- 6.2** The Director of Planning may permit a decorative roof, which may include items referred to in Section 10.11.1 of the Zoning and Development By-law, to exceed the maximum height otherwise specified in this By-law, provided that:
 - (a) the Director of Planning is satisfied that the roof enhances the overall appearance of the building and appropriately integrates mechanical appurtenances;
 - (b) the roof does not add to the floor area otherwise permitted; and
 - (c) the Director of Planning first considers all applicable policies and guidelines adopted by Council.

7 Off-Street Parking and Loading

- 7.1** The provision, development, and maintenance of off-street parking must meet the requirements of the Parking By-law.
- 7.2** For residential uses, the provision, development, and maintenance of off-street parking must meet the requirements of the Parking By-law as if the site is zoned RM-4.
- 7.3** The provision, development, and maintenance of off-street loading must meet the requirements of the Parking by-law, except the number of loading bays that must be provided will be determined by the Director of Planning in consultation with the City Engineer.

[7930; 98 07 28] [8428; 02 02 05] [8564; 02 10 22]

8 Acoustics

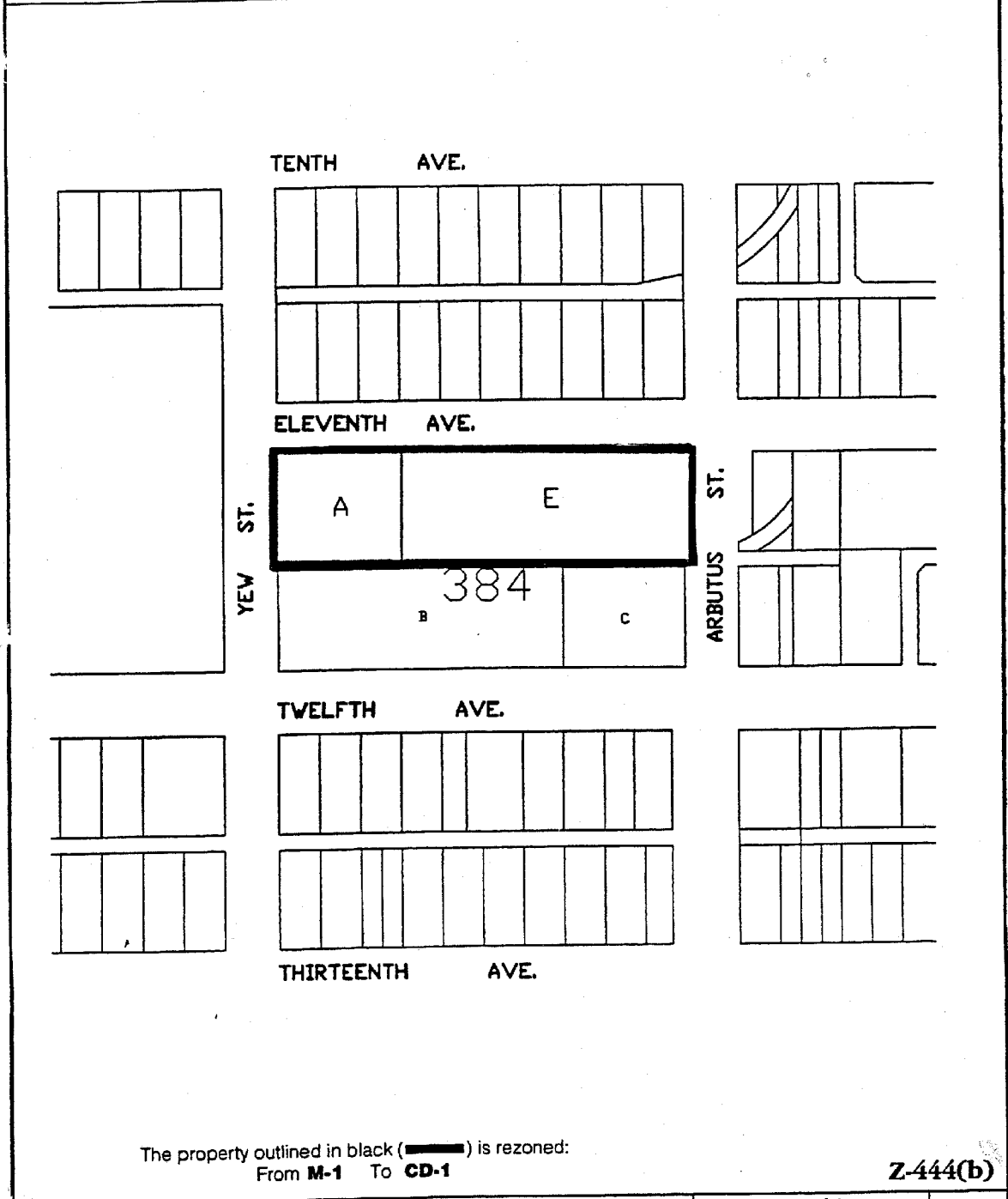
All development permit applications require evidence in the form of a report and recommendations prepared by a person trained in acoustics and current techniques of noise measurement demonstrating that the noise levels in those portions of the dwelling units listed below will not exceed the noise level set opposite such portions. For the purposes of this section the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as noise level in decibels.

Portions of Dwelling Units	Noise Level (Decibels)
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45

[7874; 98 04 21]

- 9** *[Section 9 is not reprinted here. It contains a standard clause including the Mayor and City Clerk's signatures to pass the by-law and to certify the by-law number and date of enactment.]*

BY-LAW No. 7654 BEING A BY-LAW TO AMEND BY-LAW No. 3575
BEING THE ZONING & DEVELOPMENT BY-LAW



The property outlined in black (■) is rezoned:
From **M-1** To **CD-1**

Z-444(b)

RZ 2725 Arbutus Street

map: 1 of 1

City of Vancouver Planning Department

scale: 1:2000





CITY OF VANCOUVER

Planning

Price \$3.00
June 1994

Land Use and Development Policies and Guidelines

Arbutus / Vine Industrial Area CD-1 Guidelines (By-law No. 7317) (CD-1 No. 326)

Adopted by City Council June 21, 1994.

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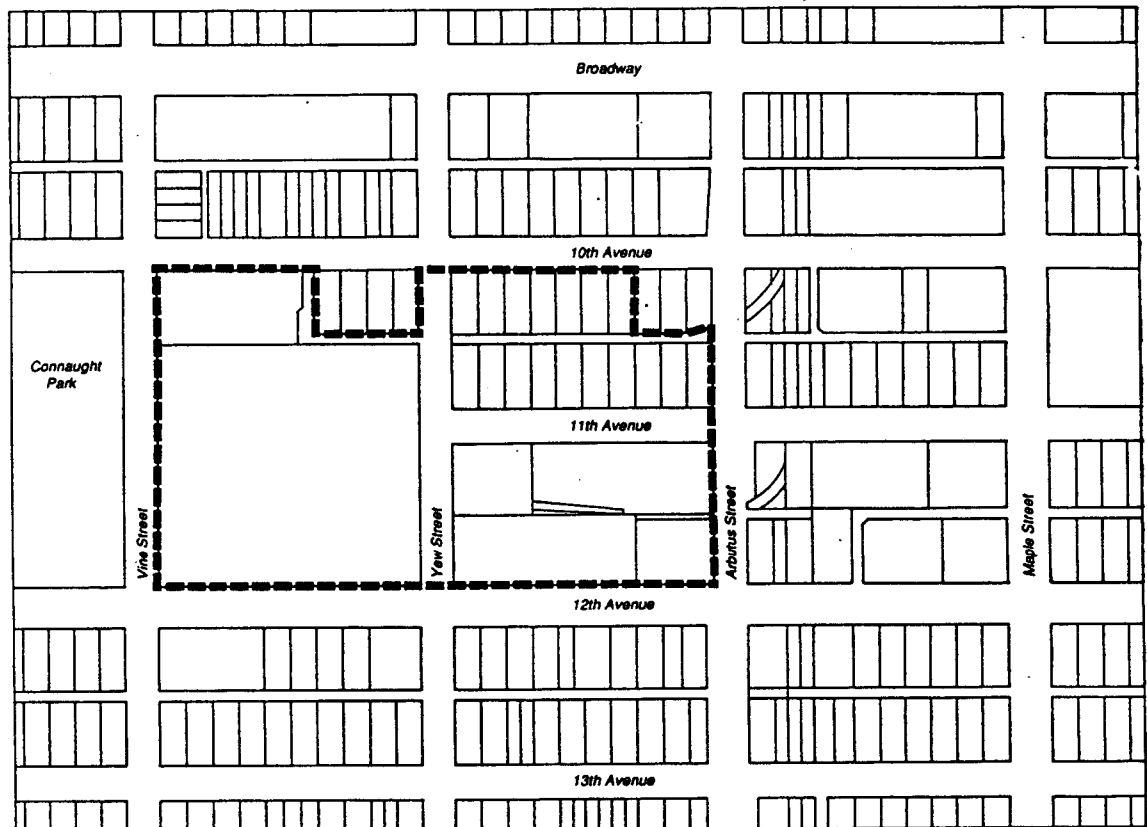
APPLICATION AND INTENT

These guidelines should be used in conjunction with the CD-1 By-laws within the Arbutus/Vine Industrial Area to guide development of the area (Figure 1). As well as assisting the development permit applicant, the guidelines will be used by City staff in the evaluation of proposed developments.

The guidelines will ensure that the design of individual developments is compatible with the overall urban design concept for the Arbutus/Vine Industrial Lands, adjacent established and future residential neighbourhoods.

The site consists of 6.3 hectares of land area. It is bounded to the south by West 12th Avenue, to the north by West 10th Avenue, to the west by Vine Street, and to the east by Arbutus Street.

Figure 1. Arbutus/Vine Industrial Area Boundary



Plan delineating site area Vine to Arbutus, 10th to 12th less B.C. Tel and Gordon's Auto Body and; surrounding context - Connaught Park to Maple, Broadway to Thirteenth.

These guidelines are intended to reinforce the urban design concept for the Arbutus/Vine Industrial Area that recalls, where appropriate, the working nature of the site and its historical evolution over time as an industrial area, including a major Brewery (est. 1912) – an area which has grown in parallel with its surrounding neighbours, both industrial and residential.

Figure 2. Design Character Sketch

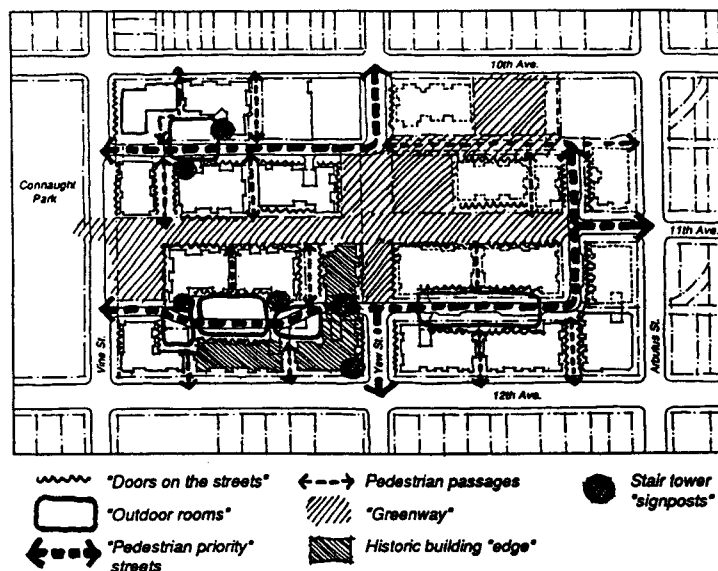


URBAN DESIGN PRINCIPLES

The urban design concept for the Arbutus/Vine Industrial Area combines a building character based on the existing character of the site with a public open space concept that emphasizes the working history of the area. Overall urban design principles which determine the pattern of development are:

- (a) the pedestrian and vehicular patterns that reinforce the typical orthogonal grid of the surrounding area;
- (b) the integration or replication of significant architectural elements of existing buildings into new construction and other site attributes of historical interest into the development;
- (c) a residential design concept that blends the working heritage of the site with the surrounding residential areas;
- (d) a building rhythm for buildings and groups of buildings that reflects the finer grain of ownership in areas other than the CD-1 sites;
- (e) a publicly accessible open space system, designed and programmed for use by the broader community, which is integrated with private open spaces;
- (f) an emphasis on building design that incorporates "doors on the streets" and reinforces the quality of the pedestrian experience; and
- (g) a general level of architectural quality throughout which complements the surrounding community while reflecting the historical character.

Figure 3. Overall Urban Structure Envisioned For The Site



2.1 Orientation and Street Pattern

A unique aspect of this development area is the creation of pedestrian priority streets internal to the site which run parallel to West 10th and West 12th Avenues. These streets are intended to serve the new buildings with vehicular and pedestrian access, and are to be designed to emphasize pedestrian use. Guidelines for the development of these streets are contained in Section 4.7.

A portion of Yew Street will be closed to facilitate a linear greenway along the West 11th Avenue alignment. A portion of Vine Street will be reconstructed to provide a narrowing of the street to two traffic lanes with additional parking laybys and changes in paving materials; and to create an improved pedestrian connection between Connaught Park and the West 11th Avenue greenway. A majority of the West 11th Avenue alignment will be dedicated as public open space and converted to a pedestrian park/greenway.

Figure 4. Orientation and Street Pattern

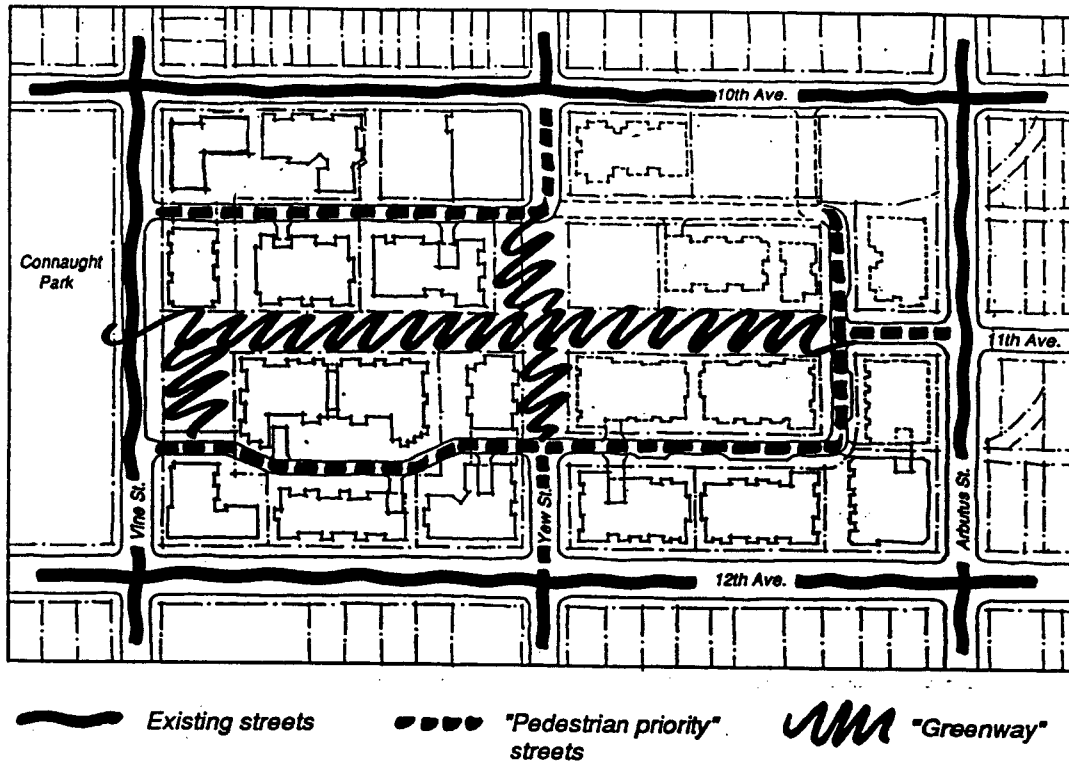


Diagram of streets annotated to highlight notes above.

Buildings should align with the existing streets and the newly treated pedestrian priority streets. Variations may be considered for buildings located internal to the area if they result in improved urban design.

2.2

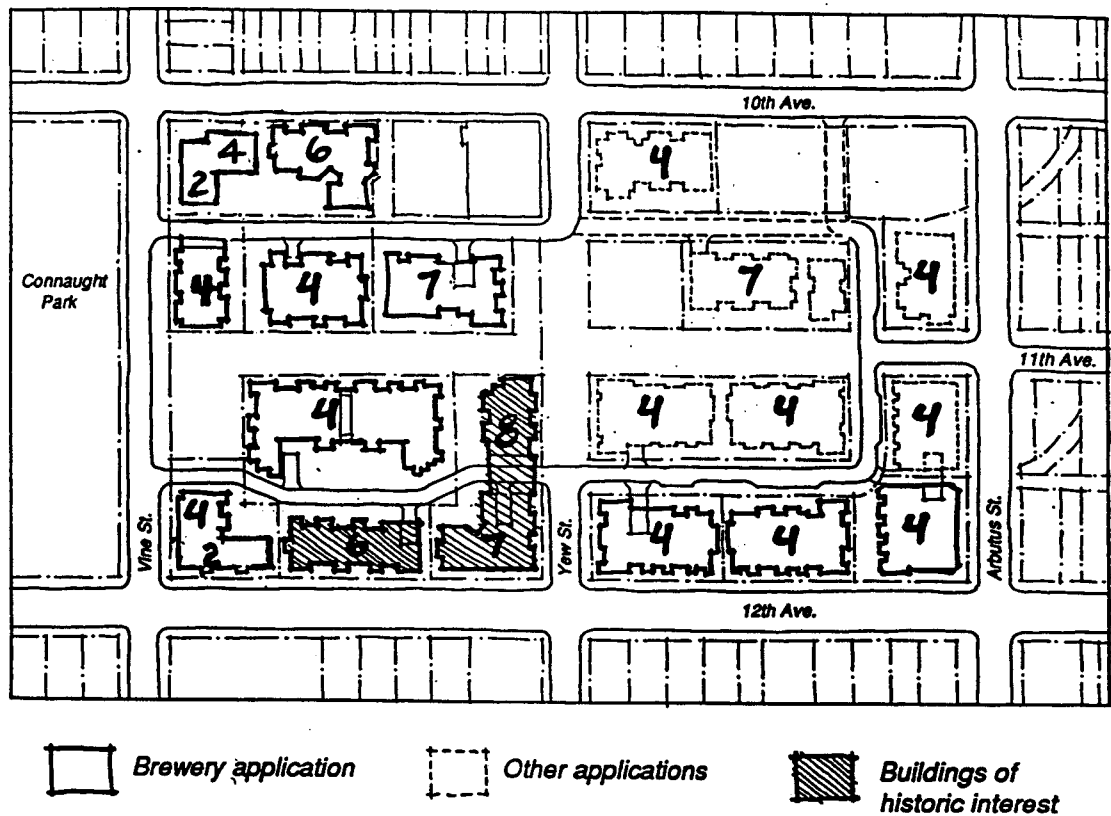
Built Form

The two overriding principles that affect built form are:

- (a) the buildings should generally be no higher than 4 storeys at the edges of the site and up to 7 storeys in the central area of the site; and
- (b) the exceptions to the above massing principle will be made as follows:
 - (i) where existing buildings exceed these heights and are to be reconstructed in a style reminiscent of the original buildings; and
 - (ii) to accommodate non-market housing.

The resultant built form will create a transition from the central area of the site to the lower scale residential development to the east and south yet encourage the reconstruction of built form that has existed historically on the site.

Figure 5. Building Heights



Viewing Axes and Focal Points

Development will accommodate viewing axes which reinforce the street grid and allow mid-block views into the area from the neighbourhood. Focal points will be established integral with the viewing axes. Key features of the existing structures will be recreated as focal points of the development viewed from within, and outside of, the site.

Figure 6. Viewing Axes and Focal Points

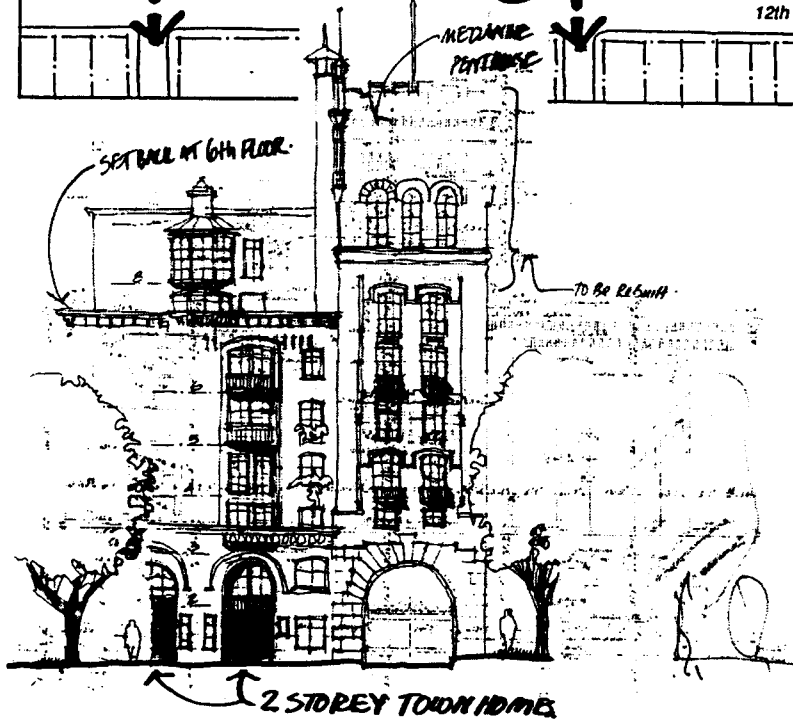
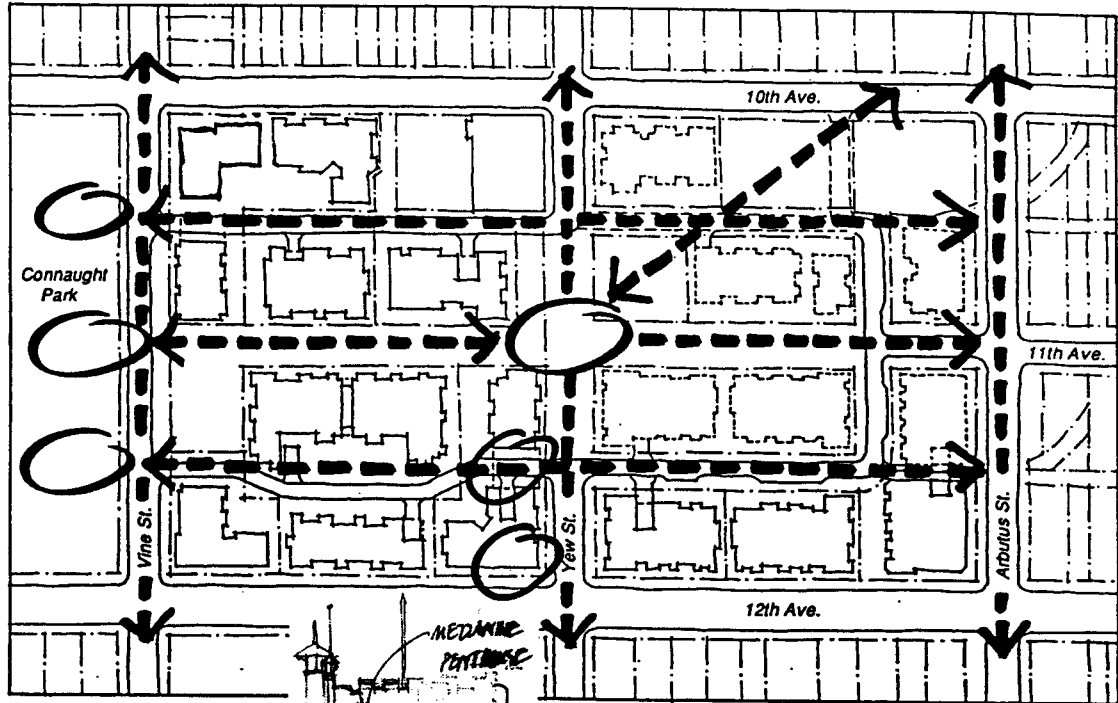


Photo and sketch of key points of interest - corner of Yew and 12th and 1912 Brewery Arch.

2.4 Parks and Open Space

A public open space system should be provided that integrates the new development with the existing neighbourhood and enhances access to Connaught Park.

The open space system envisioned for the Arbutus/Vine Industrial Area is a series of specifically programmed outdoor "rooms" or open spaces linked by a greenway on the West 11th Avenue alignment; and mid-block pedestrian priority streets. The edges of the outdoor "rooms" are defined by the buildings necessitating a careful integration of the design of the built form, landscaping and open space.

Figure 7. Lands To Be Dedicated

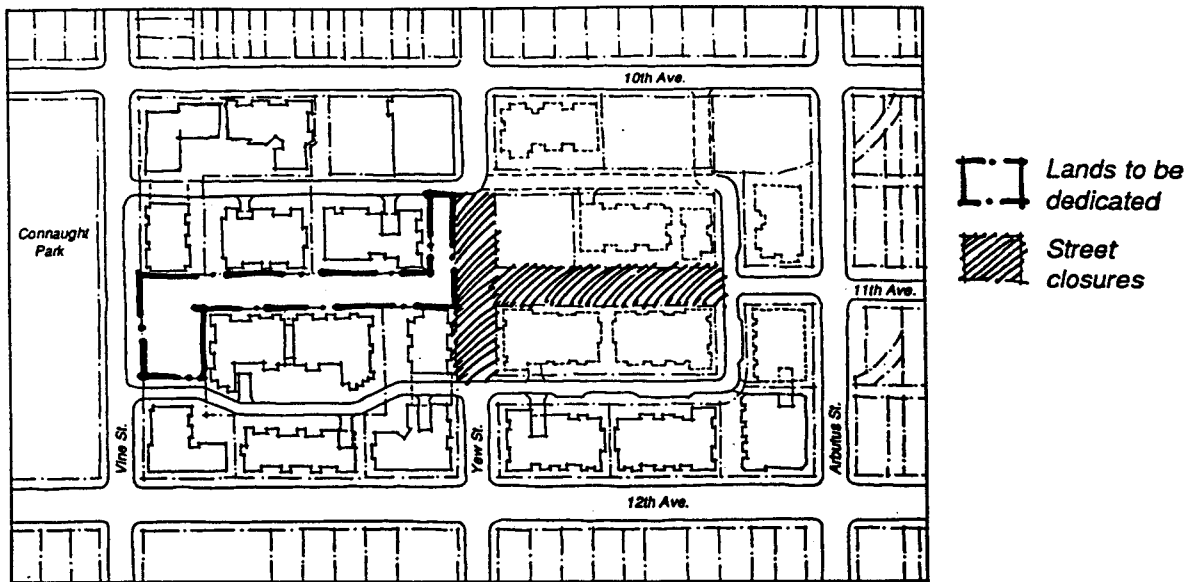
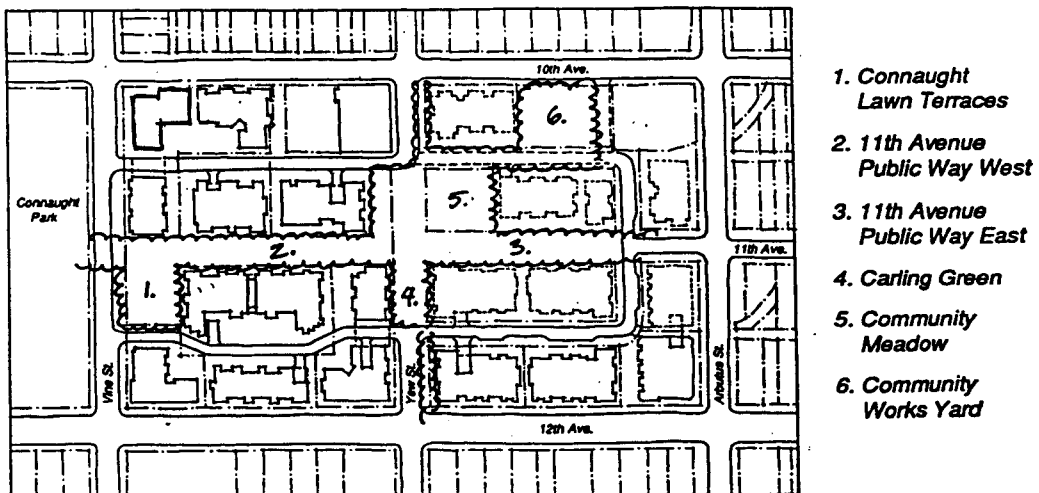


Figure 8. Greenway Areas (refer to Appendix B for illustration)



OVERALL GUIDELINES3.1 Siting

The location of streets, open spaces, development parcels and buildings should generally be as illustrated in the form of development drawings included in Appendix A.

Building yard setbacks should respond to the unique characteristics of the site and include:

(a) for all 4-storey buildings:

- a minimum setback of 2.5 m at grade level;
- an average setback of 3.0 m for first 3 storeys;
- a minimum setback of 5.0 m for the fourth storey;
- a minimum setback of 9.0 m for roof-top decks.

(b) the exception to (a) above, is Arbutus Street, where no setback is required for the first, second or third floors;

(c) interior side yards for 4-storey buildings:

- 2.5 m for first 3 storeys;
- 6.0 m for fourth storey.

(d) for all 4 to 7-storey buildings facing either a pedestrian priority street or park (greenway):

- a minimum setback of 2.5 m at grade level;
- an average setback of 3.0 m for the first 6 storeys;
- an average setback of 4.5 m for the seventh storey.

(e) interior side yards for 6 to 7-storey buildings:

- a minimum setback of 2.5 m at grade level;
- an average setback of 3.0 m for the first 7 storeys.

Setbacks may be relaxed provided the following are considered:

- (a) the intent of the guidelines;
- (b) the effects on public and private views, sunshine, privacy, private and public open space;
- (c) the enhancement of the overall design concept of the area; and
- (d) the areas where existing building massing and details are incorporated or reconstructed into new structures.

Note: For the purposes of determining setbacks from the pedestrian priority streets which will be developed as private roads, the setback shall be measured from the edge of the hard surfaced pedestrian path/walkway.

3.2 Site Coverage

The maximum site coverage for buildings should be 70 percent, except for buildings located on Arbutus Street where the maximum site coverage should be 85 percent.

3.3 Building Orientation

All buildings should be oriented to the adjacent street grid. Variations may be considered if they result in an improved relationship of building to street and open space, and improved urban design of the development parcel and the overall development.

3.4 Views

Buildings should be located to preserve public street-end views and private views. Opportunities for framing architectural features are encouraged. The site plan included in Appendix A represents an acceptable response to the views.

3.5 Massing and Height

3.5.1 Height

Buildings range in height from 4 to 8 storeys in accordance with the CD-1 By-law for each site. The primary criteria used to establish the heights include: response to the adjacent built form; impact of shadows on adjacent property; provision of sunlight to ground level; and heights of the existing structures.

3.5.2 Low-Rise Buildings

The following guidelines apply to low-rise buildings with a maximum height of 4 storeys. These buildings should:

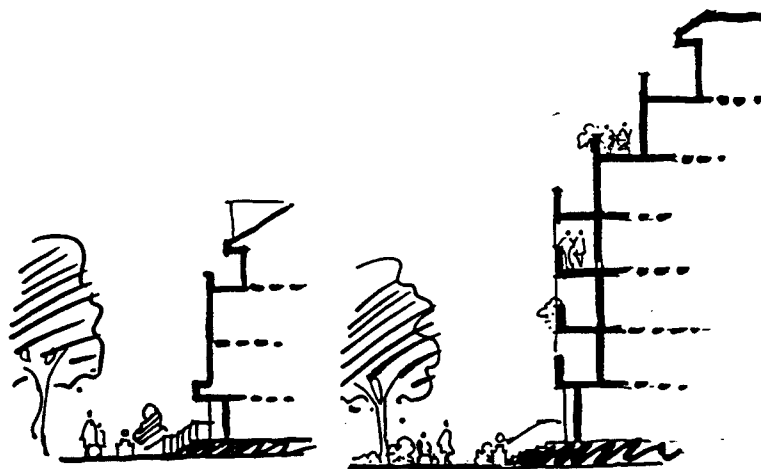
- (a) provide a 3-storey base with the fourth floor setback;
- (b) provide framed periodic openings through and articulation of the building to break down the scale, define the street, provide public views into private open space features and allow sounds of related activities to be heard, e.g. water, children playing;
- (c) respond to their location through appropriate variations in height, form, setback and architectural expression;
- (d) create pedestrian scale and character through changes in materials, fenestration, and detail;
- (e) create residential character through provision of grade level entrances to both buildings and units, bay windows, porches and special paving and landscaping; and
- (f) integrate the common open space provided on the roof into the roof form and design of the building.

3.5.3 Mid-Rise Buildings

The following guidelines apply to mid-rise buildings with heights between 5 and 8 storeys. These buildings should:

- (a) reflect their proximity to the open space system;
- (b) respond to the scale of the adjacent 4-storey development;
- (c) create pedestrian scale and character through changes in materials, fenestration, and detail;
- (d) create residential character through provision of grade level entrances to both buildings and units, integrated porches, bay windows, and special paving and landscaping; and
- (e) reduce shadow impacts for buildings above 5 floors by setting back the upper floors.

Figure 9. Built Form Profiles



Illustrated sections of typical 4-storey and typical mid-rise profile with upper floor setbacks.

3.6 Frontage

Building frontages should be limited to 60.0 m except as follows:

- along West 12th and Yew Street in cases where existing buildings are being incorporated into new structures; or where new structures are replacing the footprint of an existing building.

Buildings should be designed to incorporate major setbacks in the facades to limit the visual building mass to lengths no greater than 30.0 m, and more minor articulations for dwelling unit and street rhythm.

3.7 Architectural Expression, Materials and Colour Etc.

3.7.1 Existing Buildings

Important building elements should be retained or reconstructed in a manner that reflects their historic origins. Residential elements, such as fenestration and balconies, should be designed in a compatible character.

Existing building massing should be enhanced through additions in selective areas which are consistent with the overall design character and are less than the maximum height of the existing buildings. See Precinct Guidelines Section 4 for details.

Elevations of new and reconstructed facades should in selective areas be enhanced with dense vertical landscaping.

3.7.2 Materials and Colours

An integrated, consistent range of materials and colours should be used for each building.

Variety between buildings and building frontages should be provided consistent with the overall urban design concept.

Substantial materials such as masonry, stone, wood, etc., are encouraged with limited areas of stucco. Detailing should be substantial to avoid a thin veneer look.

3.7.3 Roofs

Roofs of low-rise buildings should incorporate articulation, sky lights, gardens, decks, dormers, greenhouses and other architectural elements that will enhance visual interest when viewed from surrounding development. The roofing materials and colours should provide visual interest.

Roofs of the mid-rise buildings should be designed as integral parts of the buildings, and incorporate any mechanical equipment and elevator requirements.

3.7.4 Building Sidewalls

Building sidewalls should be designed to be attractive and interesting, when viewed from adjacent buildings, streets and sidewalks, through the use of materials, colours, textures, articulation and fast-growing and/or mature plant material. Large expanses of blank sidewall should be avoided.

3.7.5 Balconies, Fencing and Railings

Balconies should be designed as integral parts of the buildings. Enclosed balconies should be avoided, as these limit views and sunlight access, and are not characteristic of Kitsilano.

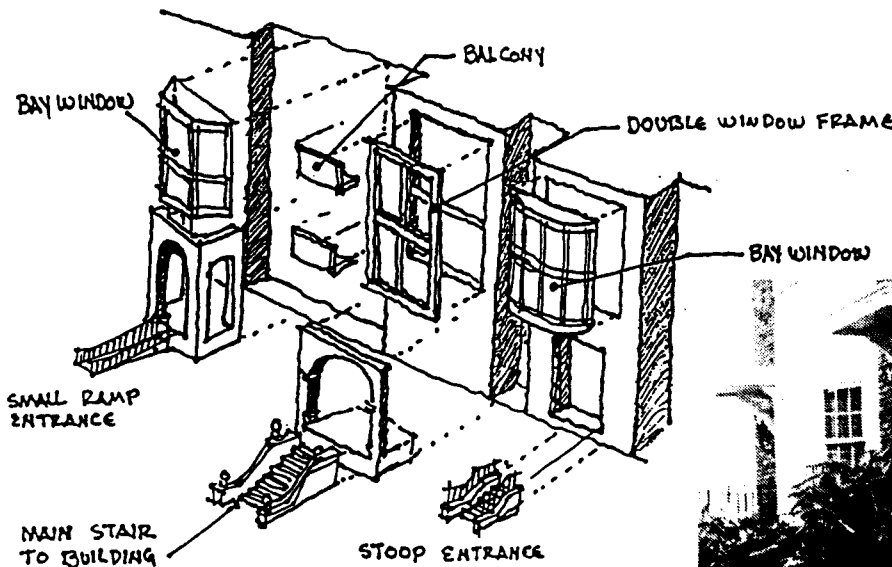
Fencing and railing materials should be substantial in nature (i.e. masonry, iron/metal, etc.)

3.7.6 Signage

Building identification signage and other private project signage should be integrated with the building and/or landscape design. A discreet approach to signage is required. The City's Sign By-law must be consulted in respect to the extent, location and size of any signage.

3.7.7 Grade Level Entries

Entries to residential, commercial uses and community facilities should be weather-protected. This protection should be utilized to create building identity and address. Front porches with direct grade access are encouraged throughout the area with the exception of development on Arbutus Street.



Sketch and photograph showing examples of substantial detailing of entry porches

3.7.8 Lighting

A variety of lighting types should be utilized, including high-level general street lighting, mid-level pedestrian lighting, and low-level lighting in localized areas such as parks, stairways, paths, and seating areas.

Lighting on buildings should be designed in a manner that contributes to the light levels of the public open space.

Glare from lighting near residential units should be minimized.

The use of custom light fixtures consistent with the overall design concept should be encouraged.

3.8 Residential Livability

3.8.1 Family Housing

Dwelling units designed for families with small children should comply with the City's "High-Density Housing for Families with Children Guidelines".

3.8.2 Private Open Space

The design of each development should include:

- (a) each unit should have direct access to a private outdoor space or a balcony. The balcony should have a minimum depth of 1.5 m and a minimum area of 4.0 m²;
- (b) balconies are not required for units rebuilt in historic buildings to be reconstructed/renovated in selected areas consistent with the architectural style of the building, provided an alternate to this open space is provided in an architecturally compatible manner, such as "French balconies";
- (c) for developments that include family units, a common children's play space of 40 m² should be provided. Consideration will be given to developments sharing these areas;
- (d) outdoor space should be located and designed to maximize the amount of direct sunlight received; and
- (e) open spaces located on roofs, including the roofs of parking structures, should be designed to accommodate large calliper trees and extensive planted areas. Roof-top open spaces including play areas, are desirable on buildings where the site coverage is over 50 percent.

3.8.3 Access and Circulation

The main entrance of all residential building should front the street, and the number of primary entrances to units from street and grade level should be maximized.

Corridor lengths should not exceed 23.0 m in any one direction, from the main vertical circulation. Corridors should have natural light and ventilation where possible.

3.8.4 Amenities

On-site amenities such as meeting rooms and workshops, suitable for the anticipated population, should be provided within each development.

3.8.5 Safety and Security

The design of each development should include:

- (a) residential buildings should be designed to overlook the streets, parks, walkways and private open spaces;
- (b) lobbies and entries should be visible as they are approached;
- (c) indoor common areas should be placed adjacent to outside common areas or overlooking the street to improve overall surveillance;
- (d) fences and walls adjacent to the sidewalk should be designed to ensure some view of the building from the sidewalk, without sacrificing unit privacy, to promote casual neighbourhood surveillance; and
- (e) landscaping should be designed and located to enhance security.

3.9 Historic Artifacts

Throughout the area there are objects and artifacts that should be retained where possible to enhance the public experience. These include keeping rail tracks inset into vehicular and pedestrian circulation routes, placement of rail car bumpers, brewery artifacts as sculptural elements within the open space system, creative re-use of building components within new buildings or as abstract free-standing elements.



Malt silo on site



Beer tanks on site

Photographs of interesting historic elements found on the site.

3.10 Landscape, Parks and Open Spaces

The open space design should be generally as illustrated in the conceptual landscape plan included in Appendix A.

3.10.1 Landscape

The landscape should contribute to the creation of a livable, healthy and environmentally responsive community, through:

- (a) the retention of significant existing trees, and where possible, the existing rhythm and space of trees should be restored;
- (b) the extensive use of plant material, including large calliper trees, seasonal, coniferous, and successional planting;
- (c) the use of a variety of plant material reflecting seasonal change; and
- (d) the use of permeable paving materials and natural drainage processes.

The design of the landscape should reinforce the design theme of working heritage and incorporate an approach to planting consistent with that theme, i.e. rough - natural drainage ponds, use of plant material that presently exist on the site such as climbing roses etc.

3.10.2 Parks and Open Spaces

The parks and open spaces should:

- (a) provide for the active and passive recreation needs of residents and visitors and link this area to the surrounding neighbourhood;
- (b) ensure safety and security through the provision of visual supervision from surrounding areas and the use of appropriate materials and equipment;

- (c) incorporate diversity through the use of distinctive hard and soft landscape materials, design and detailing;
- (d) incorporate the parks and open spaces into the surrounding walkway, vehicular and cycling systems;
- (e) distinguish between public and private spaces through the use of defined access points, circulation systems, grade changes and plant materials; and
- (f) incorporate aspects into the design which add interest and variety to the pedestrian experience.

3.11 Disabled Access

Disabled access to all portions of the development should be ensured wherever possible through the provision of accessible public parks and open spaces, public and private walkways, private open spaces, entrances to buildings, residential units, balconies and patios. Access routes should be easily identifiable and integrated into the building/landscape design.

3.12 Private Precinct Streets

The character of the streets, sidewalks and walkways should reflect their location and function within the development. Distinctive designs should be developed for each precinct provided that the continuity of character within the overall area is maintained.

These streets are intended to accommodate the two through-lanes of traffic, emergency and service access, on-street parking in selected areas, and design measures to reinforce the priority of pedestrians without detracting from the functional requirements.

Additional measures such as street planting, paving materials, detailing, configuration, and street furnishings should be provided, and should be designed in a manner that facilitates pedestrian movement and safety, and integrated with the architectural design of the individual buildings and groups of buildings.

3.13 Parking and Loading Areas

Vehicle and service access should be provided from the internal roads and West 10th Avenue, and not provided from Vine Street and West 12th Avenue. Parking entrance widths should be minimized and should be integrated into the buildings or landscape, and exposed walls and soffits should be architecturally integrated into the design in a manner that makes them as unobtrusive as possible. Good visibility should be provided at access points. Parking garages should be designed in accordance with the City's "Parking Garage Security Guidelines". Parking and loading standards will be in accordance with the respective CD-1 By-laws and the City's Parking By-law.

3.14 Garbage and Recycling

Underground recycling and garbage containers should be provided for each development.

3.15 Mitigation Measures

3.15.1 Street Noise

The impact of street noise should be mitigated through the use of noise buffers such as glazed balconies, walls, fences and landscaping.

3.15.2 Phasing

The development will occur in a number of phases. Mitigation measures to minimize the impact of the existing industrial uses on the new development should be utilized. These measures should include continuous security fencing, screens and landscaping.

3.16 Safety and Security

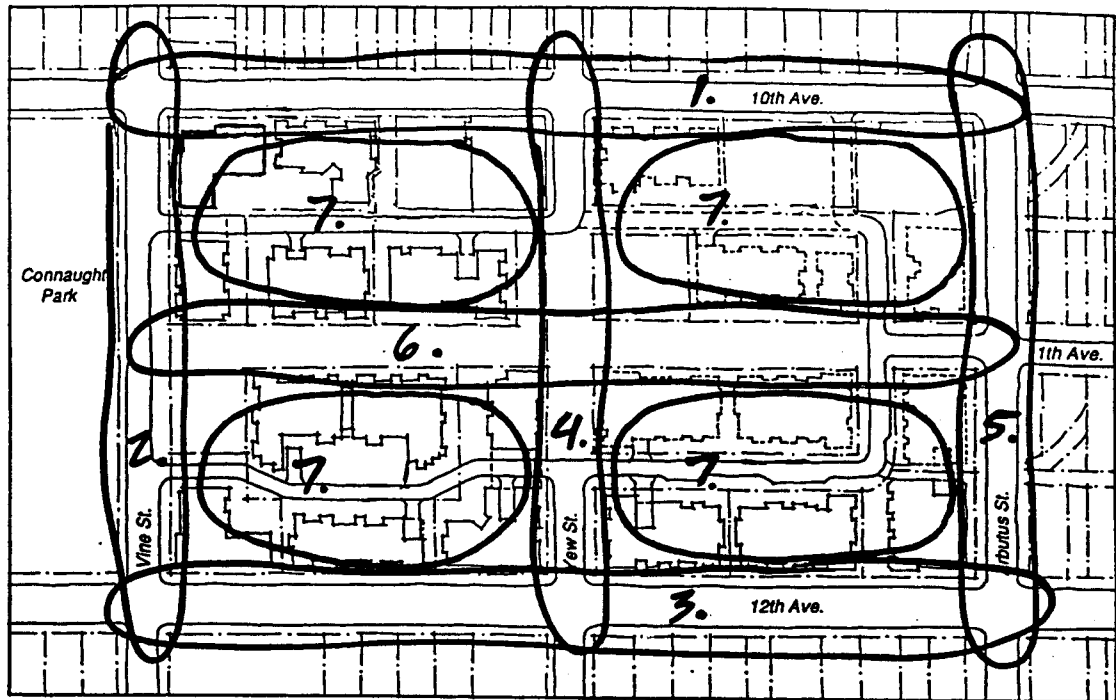
Notwithstanding all sections of the Guidelines, the principles of Crime Prevention Through Environmental Design (CPTED) should be followed for all aspects of design and planning.

4 PRECINCT GUIDELINES

Within the Arbutus/Vine Industrial Area there are seven distinct precincts, each with their own distinct character. These precincts are generally defined by the pattern of land use, the surrounding streets, and the internal open space/public realm. The precincts are:

1. West 10th Avenue
2. Vine Street
3. West 12th Avenue
4. Yew Street
5. Arbutus Street
6. West 11th Avenue Greenway
7. Pedestrian Priority Street

Figure 10. Precinct Areas



1. West 10th Avenue

2. Vine Street

3. West 12th Avenue

4. Yew Street

5. Arbutus Street

6. West 11th Avenue Greenway

7. Pedestrian Priority Street

4.1 West 10th Avenue Precinct

4.1.1 General Character and Image

West 10th Avenue is characterized by the predominance of industrial and commercial uses. Some of these uses, such as B.C. Tel and Fraser Academy will remain, while other uses, particularly on the north side of West 10th Avenue, will not redevelop for some time. Therefore, existing industrial and commercial uses will exist side by side with new residential development. The new buildings should fit into a pattern of existing buildings. The existing buildings have little or no front yard setback, no side yards and are articulated in widths of 7.5 - 15.0 m.



4.1.2 Development Guidelines

(a) Built Form

Building heights to range from 4 to 6 storeys with a strong 2 to 4-storey base.

Buildings located at the intersecting north-south streets (Vine and Arbutus Streets) shall be 4 storeys with adjacent buildings massed to create a transition built form to higher structures.

(b) Setbacks

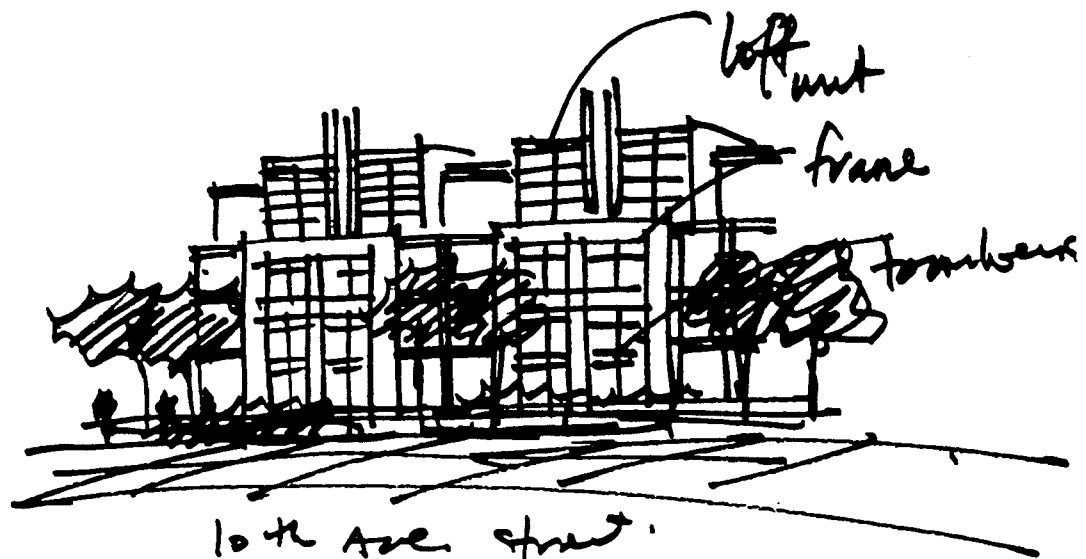
Building setbacks should be 2.5 m from the street.

(c) Building Character

Buildings should have articulated frontages (West 10th Avenue elevation) reinforcing a 7.5 - 15.0 m building rhythm and architectural variety.

Building massings should be simple in form and detail consistent with the existing context.

Commercial/retail uses including live/work spaces are encouraged at grade.



Character Image

4.2 Vine Street Precinct

4.2.1 General Character and Image

Vine Street is envisioned as a residential street characterized by doors on the street and buildings with a strong 3-storey rhythm. Buildings on Vine Street frame the east side of Connaught Park while the open space on the east side of Vine Street creates a transition from the large open area of Connaught Park to the linear form of the West 11th Avenue Greenway. The open space on Vine Street acts as a porch or forecourt with more passive uses than the active regional nature of Connaught Park. The mid-block portion of Vine Street will be narrowed to two through-traffic lanes only to facilitate movement across the street from the Greenway to the Park.

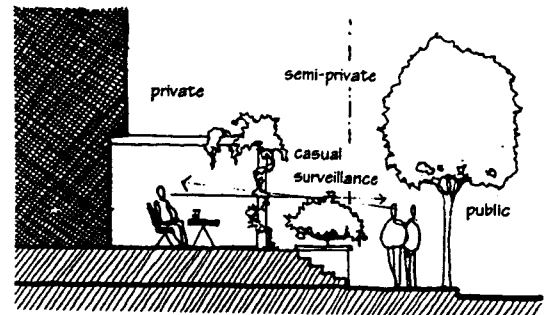
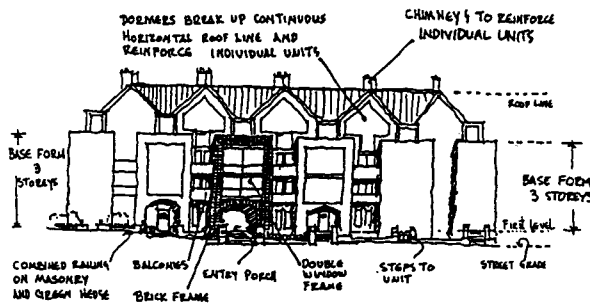


4.2.2 Development Guidelines

(a) Built Form

Building heights should be limited to 4 storeys with the fourth storey having a significant setback within an articulated roof form that reinforces the individual townhouse character roof form. Principle building orientation should be toward the street.

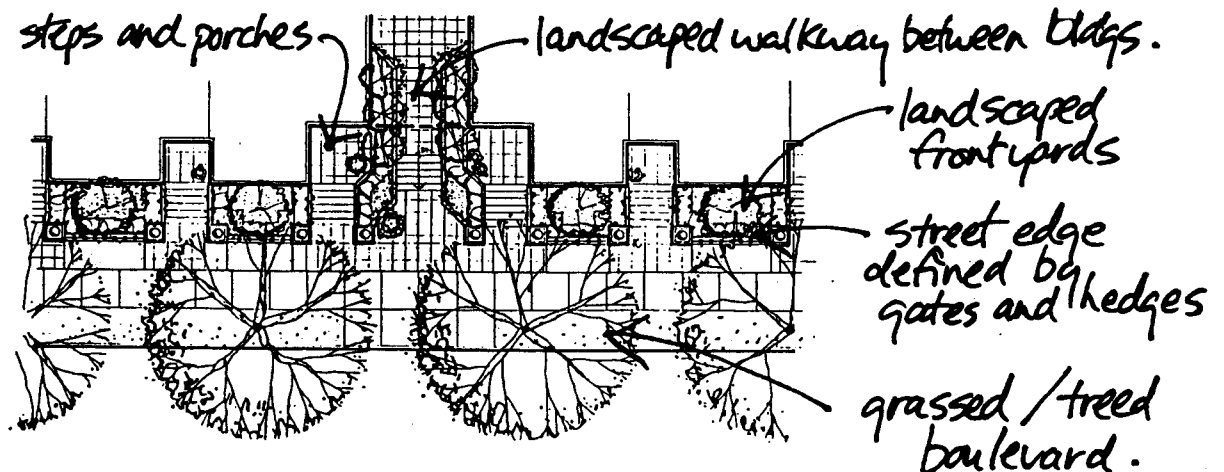
Buildings should be designed to turn around the corners at Vine Street and the greenway, incorporating architectural elements such as verandas. All building edges facing the greenway should be designed to incorporate street frontage elements used elsewhere in the plan, e.g. porches, street/grade entries.



Sketch section.

(b) Setbacks

Buildings should be set back 2.5 m from the street, although perpendicular entry steps and ramps can come up to the front property line. Front yards should be defined by low walls and fences with integrated landscaping at the property line.



Sketch plan.

(c) Character

Around the periphery of the area where it interfaces with the neighbourhood, the architectural character should reflect the Kitsilano residential character with respect to roof forms, window and balcony forms, porch and entry forms and building materials. Variety between individual developments should be achieved.

(d) Existing Buildings

The existing 2-storey office building at the corner of Vine Street and West 12th Avenue could be renovated and/or reconstructed as a residential apartment building with the third floor and fourth floor architecturally distinct from the existing building.



Illustrative sketch of corner of Vine and 12th Ave.

4.3 West 12th Avenue Precinct

4.3.1 General Character and Image

The south side of West 12th Avenue has experienced recent redevelopment of 4-storey apartments under the existing C-2 zoning. This scale of development is appropriate for the north side of West 12th Avenue, the exception being the Brewery Lands where retention or reconstruction of the historical massing and character is encouraged, particularly the 1940s structure at West 12th Avenue and Yew Street. New 4-storey development should consist of a variety of architecture interpretations of buildings with a strong 3-storey base and an articulated fourth floor roof form.



Illustrative sketch corner of 12th and Yew.

Comparative images:

The top two photos illustrate examples of the form of development envisioned for the area. The lower three photos are examples of forms of development considered inappropriate for the area.



interesting forms, 4th floor setbacks, good use of colour and materials ↘



no setback at 4th floor, too much stucco ↘



no setback, too much stucco ↘

materials, colours too inconsistent ↘



4.3.2 Development Guidelines

(a) Built Form

Building heights should be limited to 4 storeys with an articulated roof form that reinforces the individual townhouse character roof form. Principle building orientation should be toward the streets.

(b) Front Yard Setbacks

Buildings should be set back 2.5 m from the property line, although perpendicular entry steps and ramps can come up to the front property line. Front yards should be defined by low walls and fences with integrated landscaping area of sufficient height to provide visual privacy from the street.



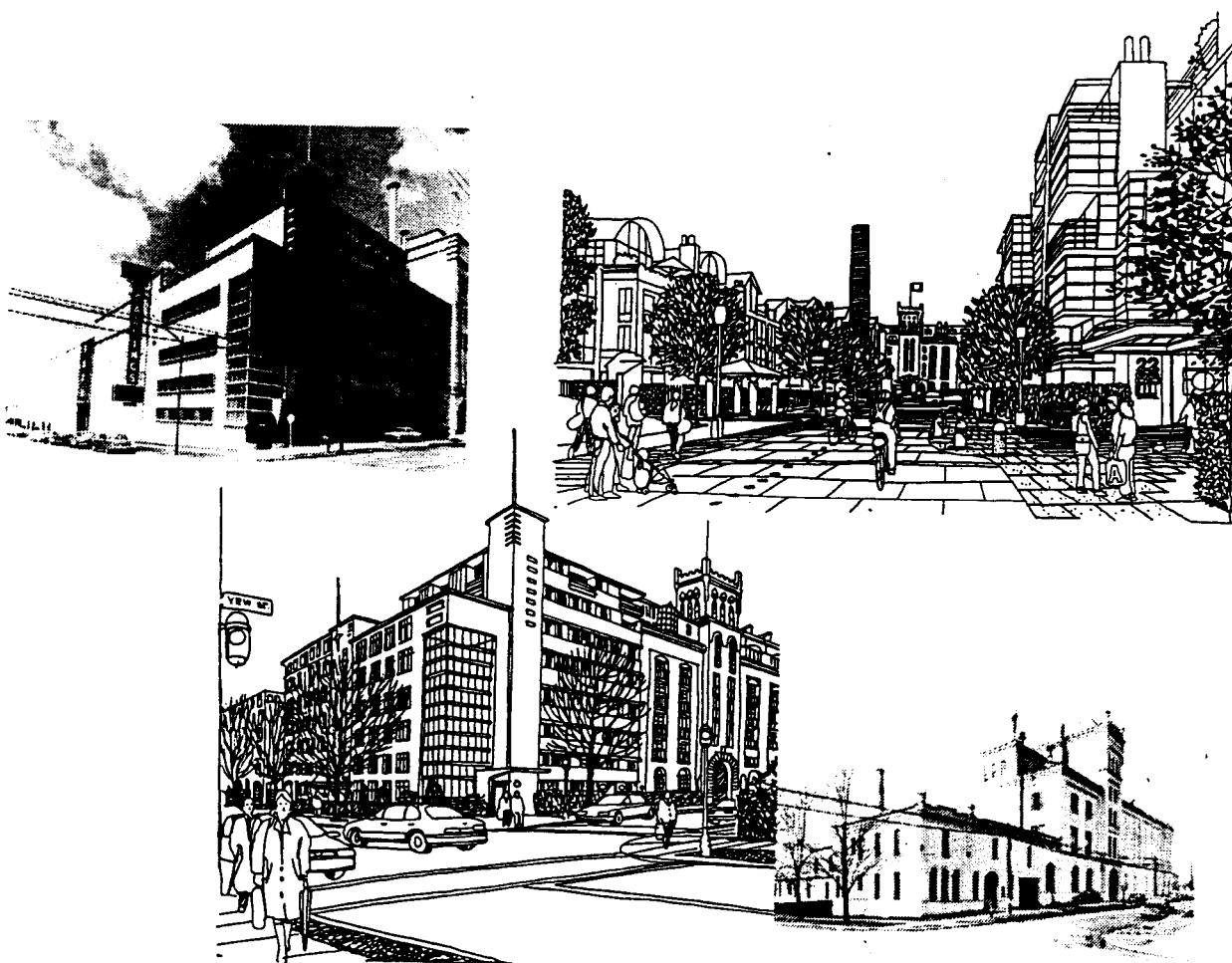
Photograph illustrating the relationship of the front yard to the public street.

(c) Character

Around the periphery of the area where it interfaces with the neighbourhood, the architectural character should reflect the Kitsilano residential architectural character with respect to roof forms, window and balcony forms, porch and entry forms and building materials. Variety between individual developments should be achieved.

(d) Existing Buildings

The retention or reconstruction of the existing building's form and character is encouraged. For the building at the corner of West 12th and Yew (the 1940s Carling Brewery building), the key stair and tower element should be retained or reconstructed. Additional fenestration and roof decks should be added in a manner that reinforces the 1940s character of the structure. The mid-block building (between Vine and Yew Streets) should have a concrete frame expression with the strong horizontal spandrels that are heavily planted.



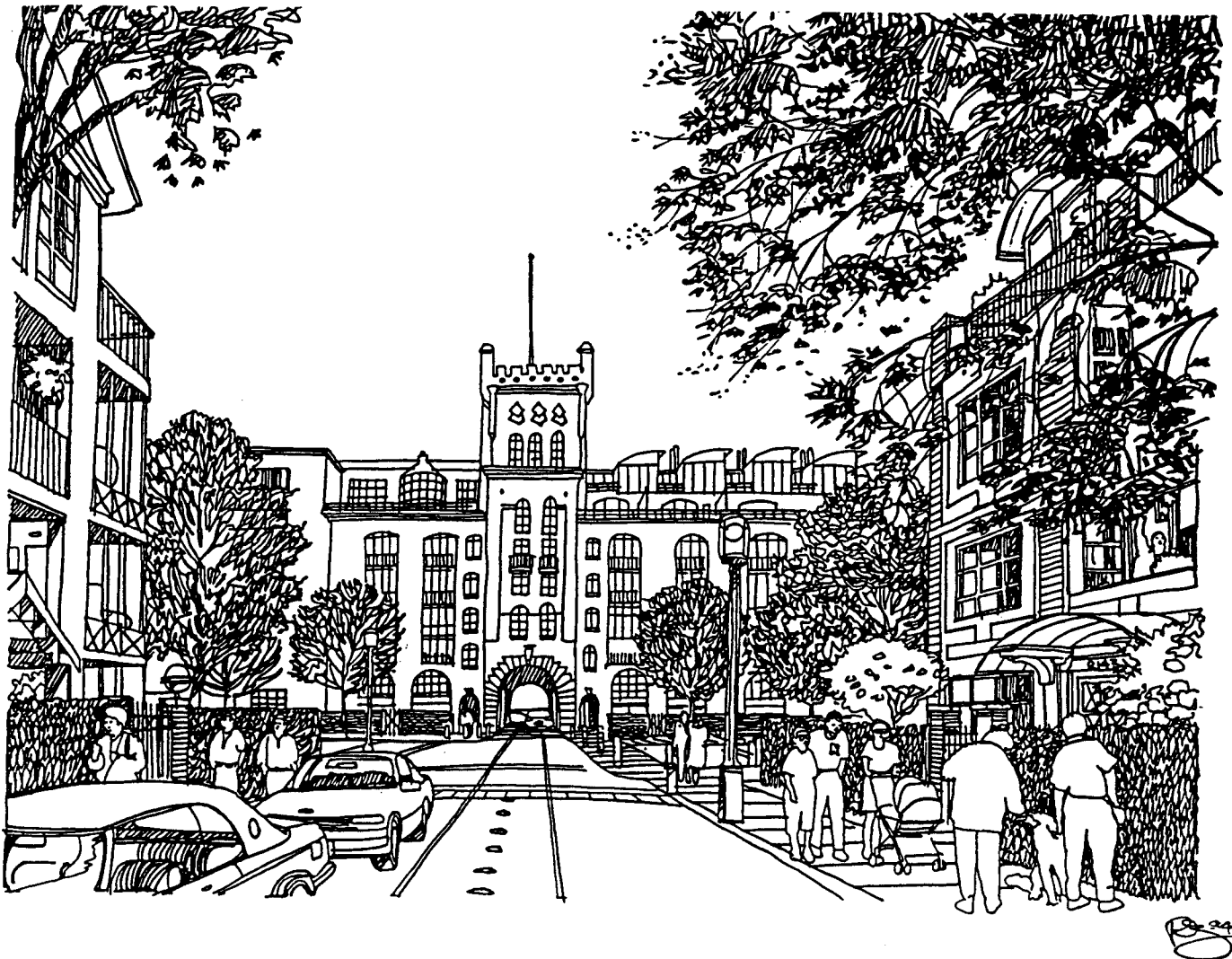
Examples of some of the key elements of buildings of historic interest being retained.

4.4 Yew Street Precinct

4.4.1 General Character and Image

Yew Street acts as a gateway to the central portion of this area. The middle section of the street will be closed and converted to park/open space. While auto traffic will be discontinuous in a north/south direction, pedestrian travel will be continuous and is expected to increase.

A building setback of 4.5 m has been established on the east side of Yew Street enabling the planting of a double row of street trees. Building heights and styles will vary significantly along Yew Street, including the possible reconstruction of the historic 1912/1940 original Vancouver Brewery building facade. Other new taller buildings will have significant setbacks from the Yew Street alignment due to the open space dedication to the east and west of the street.



Character sketch of 1912 Brewery building.

4.4.2 Development Guidelines

(a) Built Form

Building heights should be limited to 4 storeys at the east side of Yew Street and should contain a 3-storey base with a fourth floor setback similar to the other 4-storey buildings in the area. Flanking elevations should turn the corner from West 10th and 12th Avenues.

The 7-storey building at the north-west corner of the West 11th Avenue Greenway and Yew Street should accentuate both the greenway and the Yew Street Park.

(b) Setbacks

Buildings should be set back 4.5 m on the east side of Yew Street, although porches and entry steps can protrude beyond the building up to a distance of 2.5 m. Building setbacks of the existing 1940 and 1912 buildings should remain. The new 7-storey building should have a 3.0 m setback on the park, with an additional setback on the seventh floor to reduce shadow impacts on the park.

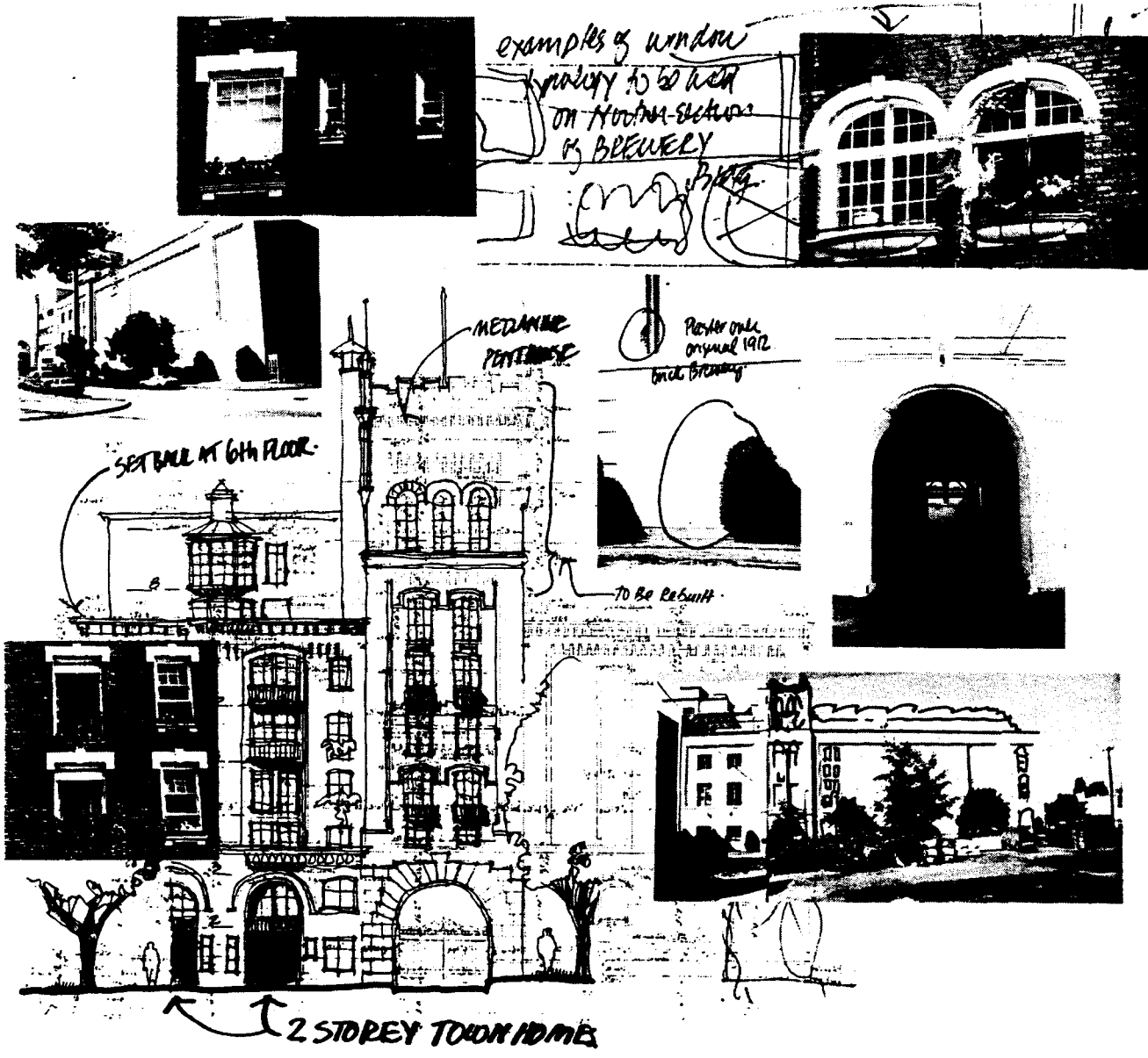
(c) Character

The architectural character should refer to the original historic structures. The low-rise and mid-rise structures should incorporate the Kitsilano residential character of West 12th Avenue and Vine Street, and the working/industrial character of the area. Creative interpretations of an industrial vernacular are encouraged on the central portion of the precinct provided that the designs incorporate traditional residential elements common throughout the area, such as direct grade entries to ground floor units, and porches.



(d) Existing Buildings

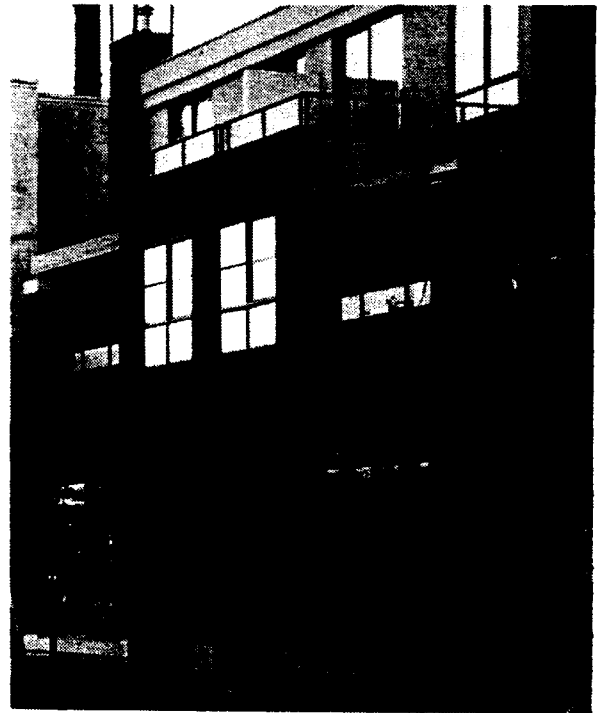
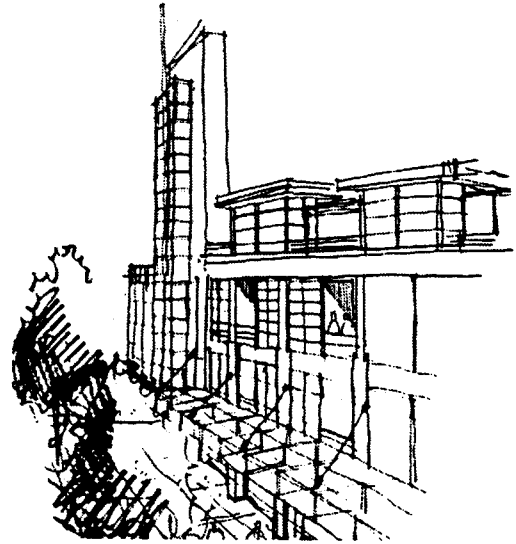
Significant portions of the facades of the 1912/1940 brewery should be incorporated or reconstructed with the new development such that the resultant built form and character are consistent with their original construction. Significant components of the buildings such as the main central arch and tower should be reconstructed. Smaller building elements such as fenestration, doorways, should be added in a manner consistent with the original building. A light single-storey roof-top addition may be added to the portion of the 1912 building north of the reconstructed tower, with a significant setback, provided that the existing cornice line continues to dominate the elevation. Examples of appropriate detailing and built form are provided in the following illustrations.



4.5 Arbutus Street Precinct

4.5.1 General Character and Image

Arbutus Street from West 12th Avenue north to West Broadway is envisioned as a mixed-use high street, combining retail uses at grade with 3 floors of residential use above. All floors of the buildings should be located on the property line or the building line, with the exception of the third floor which could be set back, and the fourth floor which should be set back.



Illustrative character sketches and photos.

4.5.2 Development Guidelines

(a) Built Form

Building heights are limited to 4 storeys. While the 4-storey buildings elsewhere in area should emphasize the 3-storey base with fourth-storey setback expression, the first 2 storeys can be developed to their full height at the Arbutus Street building line. A built form response should be made to the street corners at West 12th Avenue and at West 11th Avenue.

(b) Use

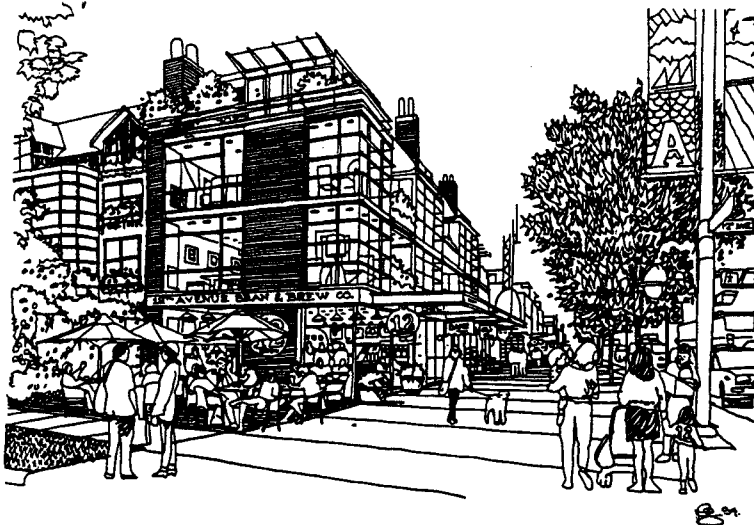
Grade level retail and service commercial uses should be provided along Arbutus Street to provide pedestrian interest.

(c) Frontage

All businesses should be located out to the street property line to encourage continuous small-scale retail frontage. Slight articulation of the building facade may be permitted, including ground level setbacks, if street continuity is preserved and pedestrian amenity provided. Outdoor extensions of cafes and restaurants are encouraged.

(d) Character

The Arbutus Street buildings should be urban in character within a comprehensive character for the whole precinct. Consistent with the image of a "high street", opportunities for a range of pedestrian activity should be provided such as seating.



(e) Signage

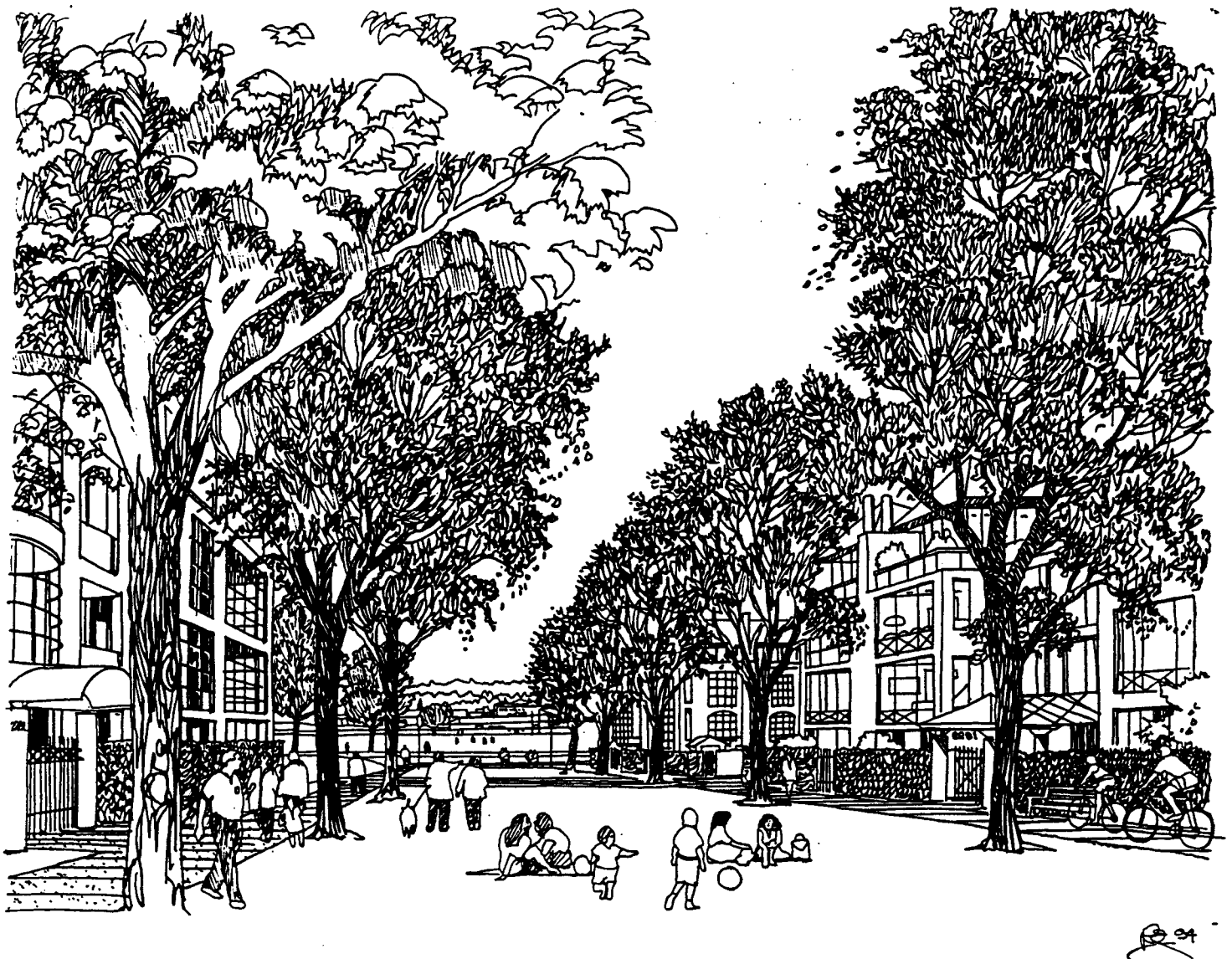
Signage should be integrated into the building design. The City's Sign By-law must be consulted in respect to size and location of any signage.

4.6 West 11th Avenue Greenway Precinct

4.6.1 General Character and Image

The linear greenway will be developed along the West 11th Avenue alignment from Arbutus to Vine Streets.

The buildings should be designed to enhance and complement the design of the open space. Building character should be a combination of residential and industrial themes reflecting the diverse heritage of the area.



Greenway illustrative sketch looking towards Connaught Park.

4.6.2 Development Guidelines

(a) Built Form

Buildings should range in height from 4 to 8 storeys.

(b) Setbacks

The minimum setbacks along the greenway should be 2.5 m and accommodate both private open space and individual unit access.

The 4-storey buildings should be massed to incorporate a setback of the fourth floor.

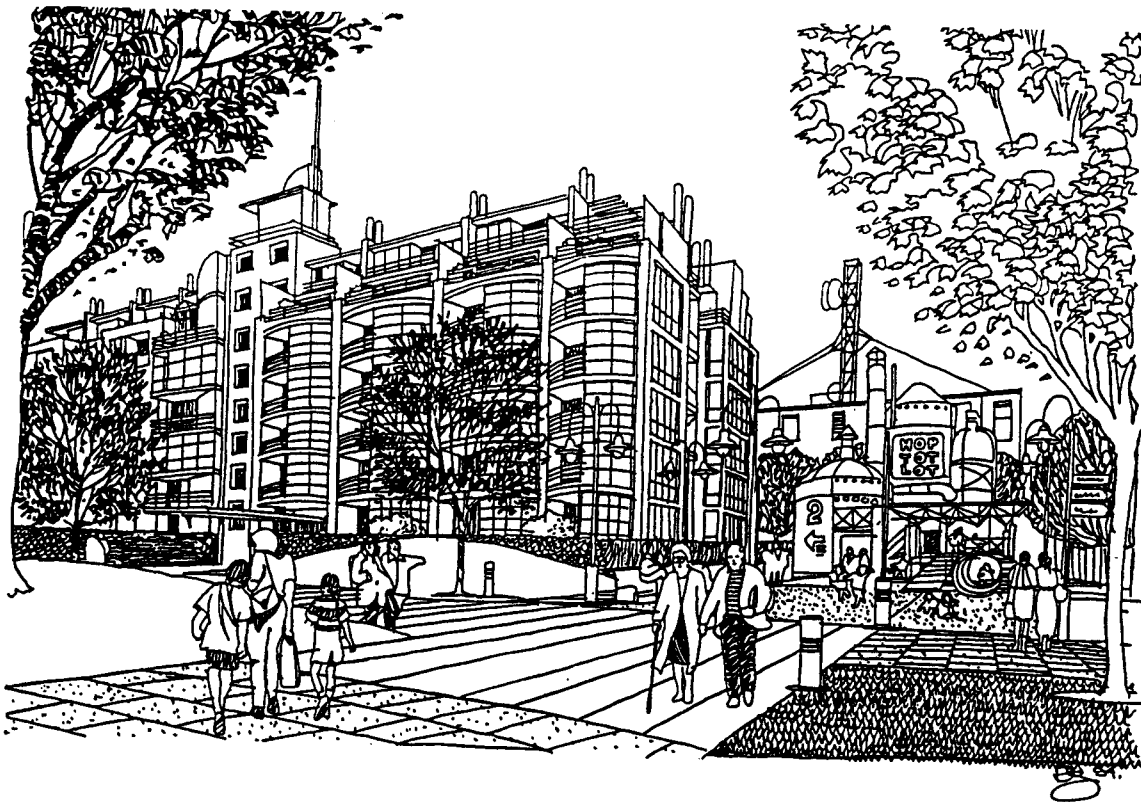
The 7-storey buildings should incorporate a strong 2 to 4-storey base with setbacks at the upper floors to minimize shadowing on the public open space system.

(c) Character

While reflecting the character of the adjacent Kitsilano developments, the buildings should be more urban in design and incorporate a simplicity of built form and detailing which typifies many of the existing structures along the West 11th Avenue alignment.



Illustrative sketches and photographs.



Illustrative sketch of 7-storey building.



Illustrative sketch of 4-storey building.

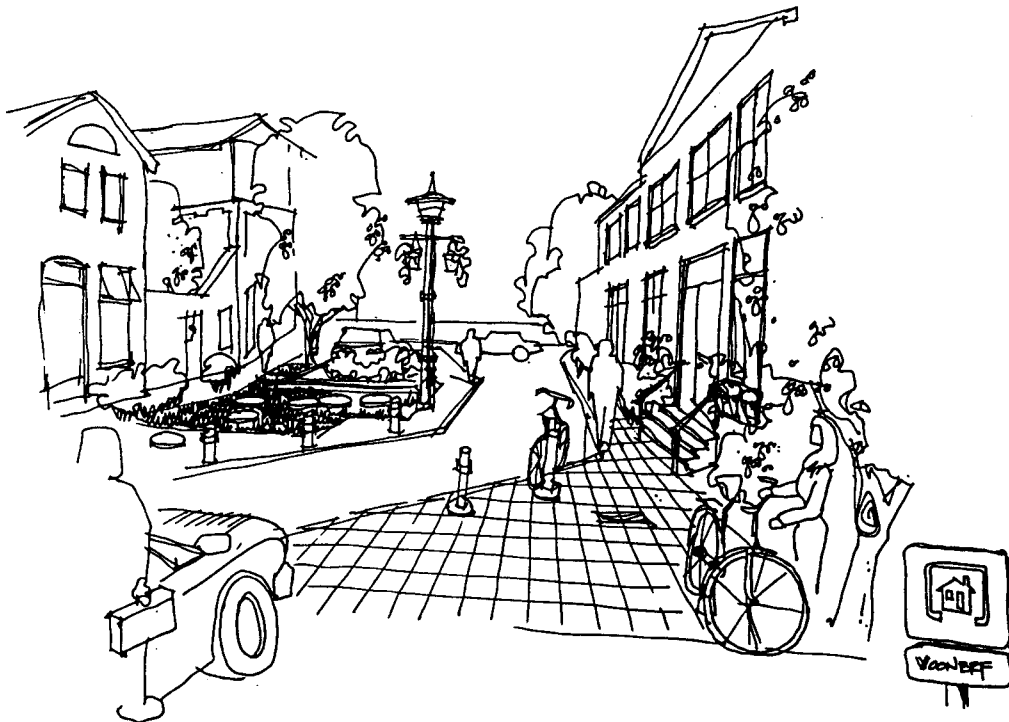
4.7 Pedestrian Priority Streets

The mid-block streets within the plan area are intended to be pedestrian priority streets.

4.7.1 General Character and Image

In the Arbutus/Vine Industrial Area, a different model of street is proposed, one which gives priority to the pedestrian while meeting functional vehicular requirements. These pedestrian priority streets are modelled after a Dutch prototype developed in the 1970s for the residential street called the "woonerf" - which translates literally as "living yard". The name was coined to describe a street in which the primary function would not be driving and parking, but walking and playing. In the area, a new street bisects each of the precincts. The street is made up of a roadway, a pedestrian way and flanking buildings. How each of these components is articulated and how they interact is paramount to the success of the area.

Pedestrian use of the streets is encouraged through design elements such as a clearly marked threshold distinguishing the pedestrian priority street from the network of thoroughfares, intentional ambiguity of paving materials to disrupt the perception of the roadway as a linear traffic channel, speed bumps to slow cars, and the insertion of planting, staggered parking and street furniture.



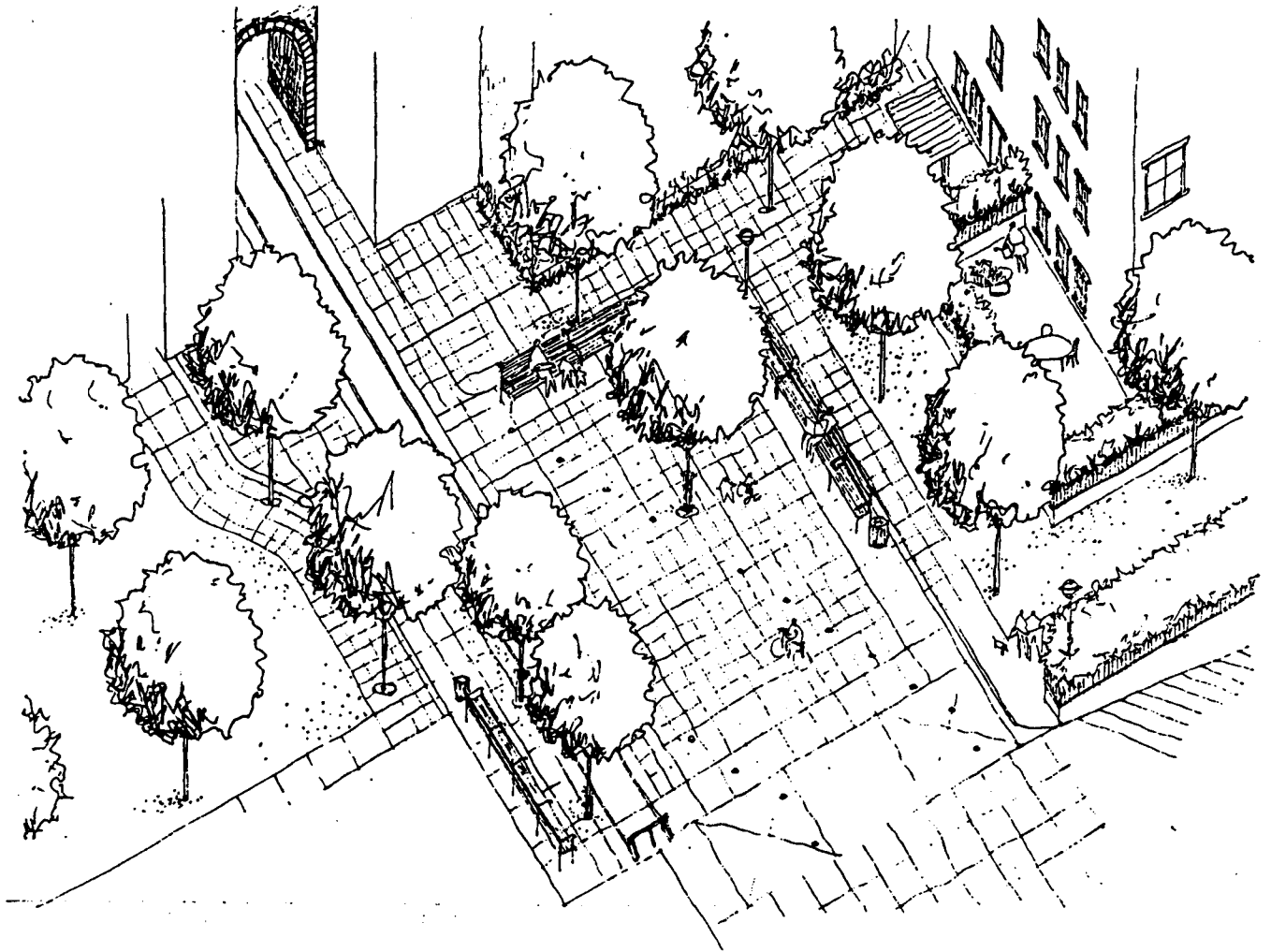
Woonerf image photo.

4.7.2 Street Design - Performance Criteria

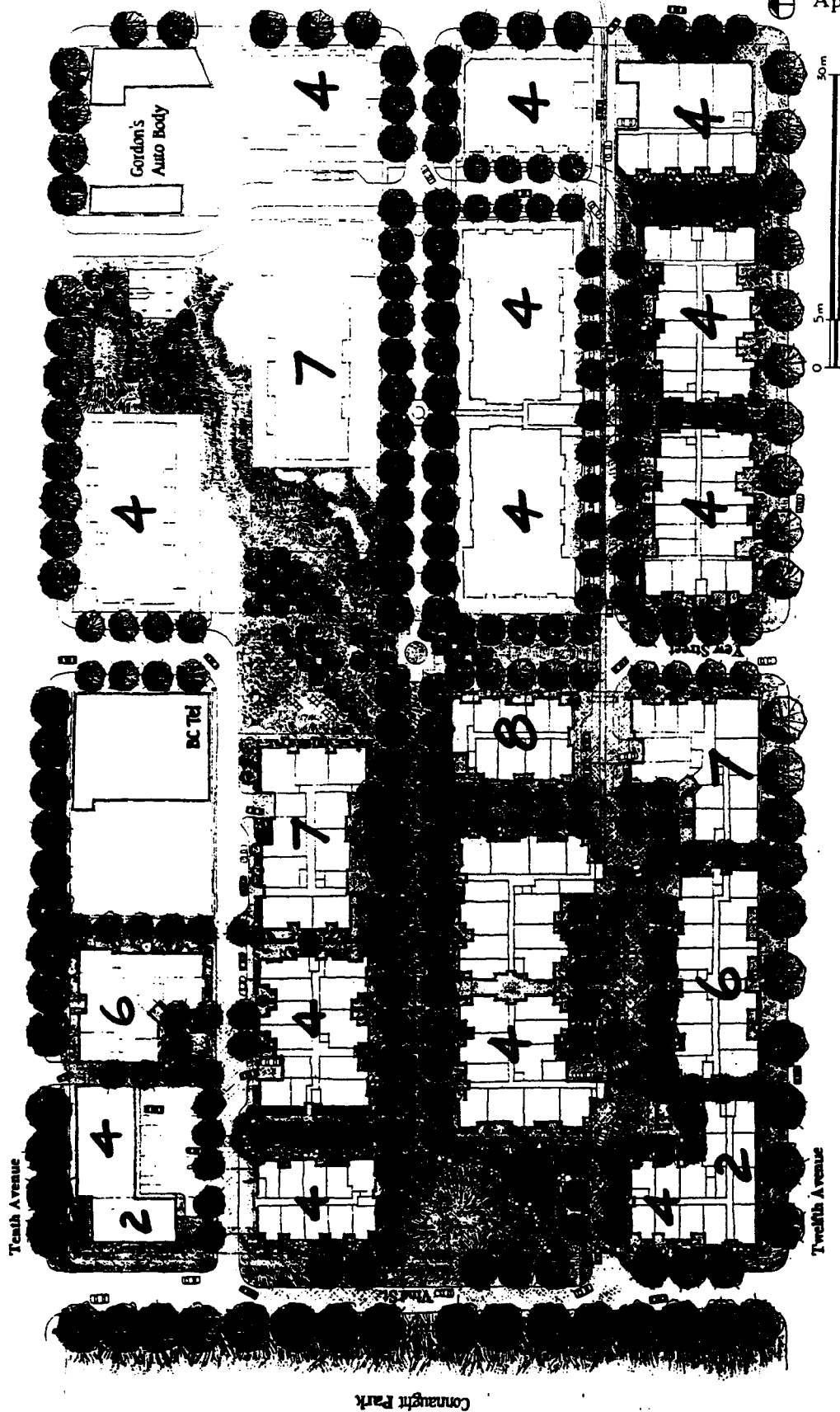
While the emphasis is on the pedestrian, the design of the street should accommodate provision for the following:

- two through-lanes of traffic;
- on-street parking in selected areas;
- pedestrian movement on the sides and within the street;
- bicycle movement;
- access to parking structures;
- access for service vehicles and emergency vehicles including fire trucks;
- extensive tree planting and other landscaping;
- services; and
- street furniture;

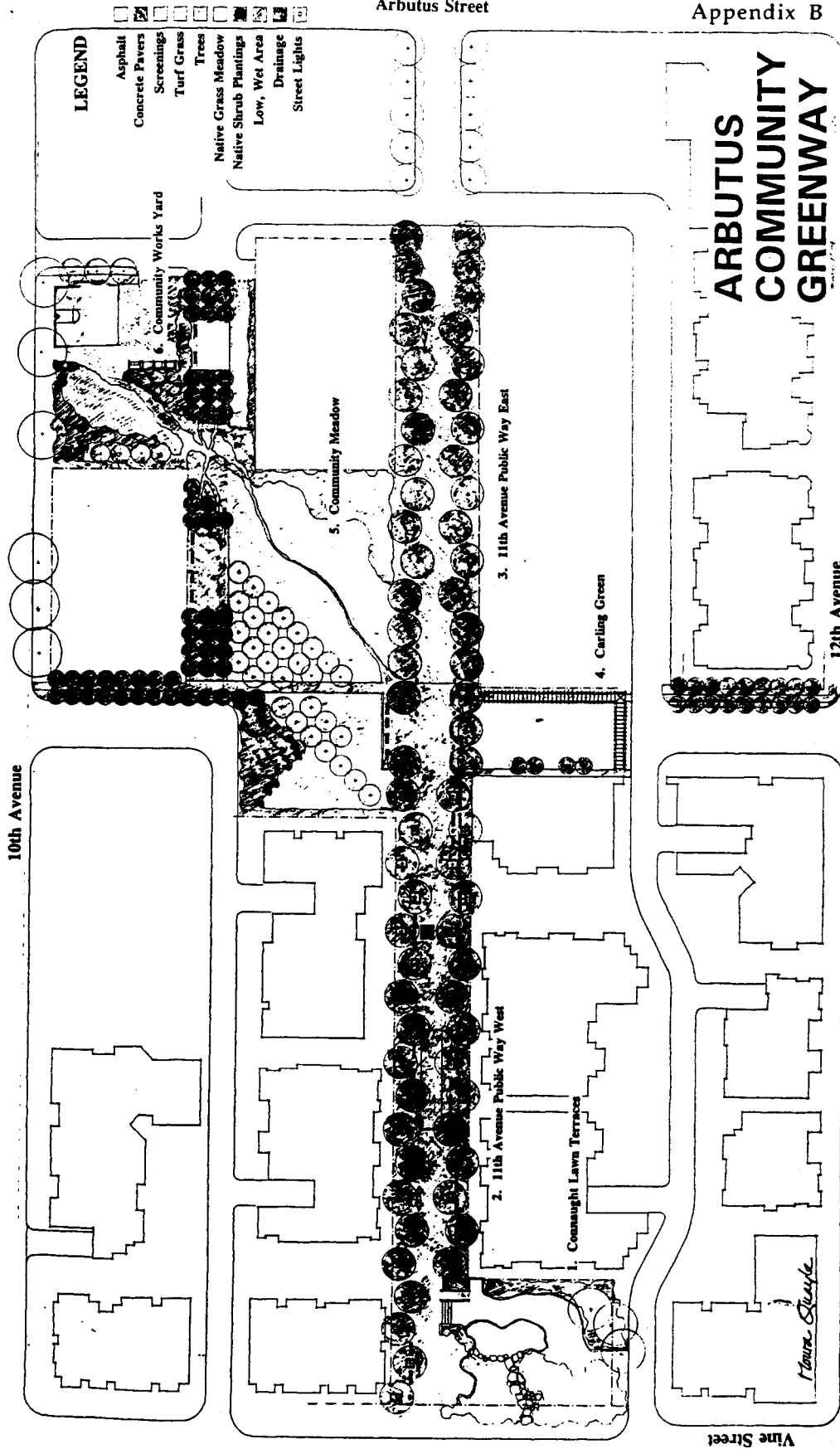
The detailed design and layout of each of these elements will change according to the precinct in which they are located.



Sketch of typical pedestrian priority street surface treatment.



ILLUSTRATIVE DEVELOPMENT CONCEPT



CITY OF VANCOUVER
SPECIAL COUNCIL MEETING

A Special Meeting of the Council of the City of Vancouver was held on Thursday, July 27, 1995, at 7:30 p.m., in the Council Chamber, Third Floor, City Hall, for the purpose of holding a Public Hearing to amend the Zoning and Development By-law.

PRESENT: Mayor Owen
Councillors Chiavario, Clarke, Hemer, Ip,
Kennedy, Kwan, Price and Puil

ABSENT: Councillor Bellamy (Leave of Absence)
Councillor Sullivan (Leave of Absence)

CLERK TO THE COUNCIL: Marnie Cross

COMMITTEE OF THE WHOLE

MOVED by Cllr. Clarke,
SECONDED by Cllr. Chiavario,
THAT this Council resolve itself into Committee of the Whole,
Mayor Owen in the Chair, to consider proposed amendments to the
Zoning and Development By-law.

- CARRIED UNANIMOUSLY

1. Rezoning: 2725 Arbutus Street
(Lots A and E, Reference Plan 391,
Block 384, District Lot 526, Plan 2300)

An application by the IBI Group was considered as follows:

The proposed rezoning, from M-1 Industrial District, to CD-1 Comprehensive Development District, would:

- permit redevelopment of this site, to include four-storey residential development, containing approximately 135 dwelling units and 1 050 m² (11,300 sq. ft.) of commercial use permitted on the Arbutus Street and related West 11th Avenue frontages;
- permit a maximum density of floor space ratio 1.9;

cont'd....

Clause No. 1 (cont'd)

- consider including the uses "artist studio" and provisions for congregate care housing;
- require amendment to the Sign By-law and possible consequential amendments.

The Associate Director of Planning, Land Use and Development, recommended approval, subject to the following conditions proposed for adoption by resolution of Council:

SCHEMATIC DEVELOPMENT

- (a) That, the proposed form of development be approved in principle, generally as prepared by the IBI Group, and stamped "Received, Planning Department, June 9, 1995", provided that the Director of Planning may allow alterations to the form of development when approving the detailed scheme in conjunction with the guidelines approved under (b).

GUIDELINES

- (b) That the guidelines entitled "Arbutus/Vine Industrial Area CD-1 Guidelines" originally adopted on June 21, 1994, be applied to this site at the time of enactment of the CD-1 by-law, by resolution of Council, including the addition of:
 - i) Amend Section 3.8.2 (Private Open Space) as follows:
 - delete sub-section (c) beginning with the words "for developments that include" and ending with the words "sharing these areas";
 - replace sub-section (c) with the following:

"in addition, each building site with a family unit requirement, should provide, separately or in conjunction with another site, an at-grade children's play area not less than 40 m², which is generally designed in accordance with the City's "High-Density Housing for Families with Children Guidelines"."
 - delete sub-section (e);

cont'd....

Clause No. 1 (cont'd)

- re-number sub-sections (a) to (d) to (i) to (iv);
- insert "(a)" in front of the words "The design of each development should include:"; and
- insert new clause (b) immediately after sub-section (iv) as follows:

"All developments, except 2135 West 12th Avenue and those fronting directly onto Arbutus Street, should provide a contiguous, at-grade outdoor common open space designed in the form of a courtyard, square or sitting garden, or similar semi-public open space, calculated on the basis of one square metre (1.0 m²) per unit, in addition to required setbacks or yards, except that:

- (i) where the open space is abutting a setback or yard, that portion of the yard or setback may be included in the total;
- (ii) such open space may be provided as a roof garden. Each area should be accessible to all residents and designed to be functional as common open space for residents of the building; such areas need not be in a single contiguous location, but a minimum size of 40 m² should be provided for each area; and
- (iii) all such open space should be designed to maximize the amount of direct sunlight received, views, sense of place and privacy. Such spaces will be adequately buffered from surrounding uses.

Consideration will be given to sharing open space with other developments; however, the overall standard will continue to apply."

cont'd....

Clause No. 1 (cont'd)

- ii) Amend Section 4.4.2(b) (Yew Street Precinct - Setbacks) to clarify that a 4.5 m setback will apply to the Twinpak site;
- iii) Insert an additional paragraph to Section 4.5.2(c) (Arbutus Street Precinct - Frontage) as follows:

"Consideration may be given to elimination of the interior side yards between sites fronting Arbutus Street (2135 West 12th Avenue and 2725 Arbutus Street) in order to accommodate continuous building and retail continuity, subject to the following:

- the change is considered to be to the benefit of the overall environment along Arbutus Street and of benefit to pedestrians;
- proper attention is given to pedestrian scale and character along Arbutus Street; and
- the overall effect is aimed at creating a properly articulated building frontage, rather than a singular, monolithic facade.

This consideration will be subject to review by Planning and Engineering Services."

FORM OF DEVELOPMENT

- (c) That, prior to final approval by Council of the form of development for each portion of the project, the applicant shall obtain approval of a development application by the Director of Planning, including the following:
 - (i) recycling and garbage facilities are to be provided to the satisfaction of the General Manager, Engineering Services.
- (d) That, prior to enactment of the CD-1 By-law, the registered owner shall, at no cost to the City:

cont'd....

Clause No. 1 (cont'd)

FAMILY UNITS

- (i) execute an agreement, satisfactory to the Director of Legal Services and the Manager, Housing Centre, providing that 25% of the units on the overall site shall be two bedrooms or larger and that these units generally meet the City's "High-Density Housing for Families with Children Guidelines";

OCCUPANCY BY FAMILIES

- (ii) execute an agreement, satisfactory to the Director of Legal Services and the Manager, Housing Centre, providing that occupancy or possession of dwelling units shall not be denied to families with children, with the exception of units which may be designated as senior citizens' housing;

SERVICE AGREEMENT

- (iii) execute a service agreement satisfactory to the General Manager, Engineering Services and the Director of Legal Services, to ensure that all on-site and off-site works and services (including electrical and telephone under-grounding) necessary or incidental to the servicing of all phases of the subject site (collectively called the "Services") are designed, constructed, and installed, and to provide for the granting of all necessary street dedications and right-of-ways for access and services, all to the satisfaction of the General Manager, Engineering Services and the Director of Legal Services. Dates for completion of the services, and the length of the applicable warranty and indemnity periods shall be to the satisfaction of the General Manager, Engineering Services. Without limiting the discretion of the said City officials, this agreement shall include provisions that:

- (a) the servicing shall occur in accordance with a phasing plan, acceptable to the General Manager, Engineering Services;

cont'd....

Clause No. 1 (cont'd)

- (b) require from the south side of the site transfer to the City for road a strip of land not less than 4.6 m or more than 7.62 m wide, and if less than 7.62 m, require the difference to be given over to access by a statutory right-of-way to the City and require the design, construction and installation of the access and landscaping planned for this 7.62 m strip including removal of the railway tracks;
- (c) require from the easterly side of the site transfer to the City for road a strip of land 3.048 m, subject to such conditions to be determined by the General Manager, Engineering Services;
- (d) require from the eastern portion of the site transfer to the City for a north-south road parallel to and approximately 27 m west of Arbutus Street, or as may otherwise be determined by the General Manager, Engineering Services, a strip of land 15.24 m wide and require the design, construction and installation of the access and landscaping for this strip of land;
- (e) no development permit shall be issued until the design of the Services is completed to the satisfaction of the General Manager, Engineering Services;
- (f) the design of the Services shall be completed to the satisfaction of the General Manager, Engineering Services prior to:
 - i) tendering for the construction of any of the Services; or
 - ii) any construction of the Services if the property owner decides not to tender the construction.
- (g) no occupancy of any buildings or improvements shall be permitted until all Services are completed to the satisfaction of the General Manager, Engineering Services;

cont'd....

Clause No. 1 (cont'd)

- (h) a warranty in respect of the Services shall be granted for a period of time designated by the General Manager, Engineering Services, and an indemnity shall also be given protecting the appropriate persons for a period of time designated by the General Manager, Engineering Services;
- (i) all lands will be remediated, if required, to all applicable statutes and those lands to be dedicated to the City will be remediated to the satisfaction of the General Manager, Engineering Services;

SUBDIVISION

- (iv) obtain approval and registration (or, in the discretion of the Director of Legal Services, deposit for registration) of a compatible subdivision plan, including all necessary dedications and agreements, as determined by the Approving Officer; or, in the discretion of the Associate Director of Planning, Land Use and Development, in consultation with the General Manager, Engineering Services, enter into an agreement or agreements, including a no development covenant, to the satisfaction of the Director of Legal Services, to secure the later subdivision of the site, at a time and on the conditions acceptable to and by deposit and registration of a compatible subdivision plan acceptable to, the Associate Director of Planning, Land Use and Development, the General Manager, Engineering Services and satisfactory to the Approving Officer; and

COMMUNITY AMENITY CONTRIBUTION

- (v) pay to the City \$513,000.00 as a community amenity contribution (@ \$4 per MBSF) or, as the City Manager may approve, enter into an agreement with the City on terms satisfactory to the City Manager, to pay such amount plus interest thereon from the date of the rezoning public hearing adopting this condition until paid at the per annum rate of prime plus 2% with principal and interest due and secured as the City Manager shall approve.

cont'd....

Clause No. 1 (cont'd)

Where the Director of Legal Services deems appropriate, the preceding agreements are to be drawn not only as personal covenants by the property owner, but also as covenants which charge and run with the land.

The Director of Legal Services may, in his discretion, require either full registration or deposit for registration of the preceding agreements in the Land Title Office, prior to enactment of the by-law, but in any event, the City will not issue any development permits, and the property owner shall not seek the issuance of any development permit relating to the site prior to the registration of the preceding agreements; such agreements are to have priority over those liens, charges and encumbrances as considered advisable by the Director of Legal Services.

The required agreements shall provide security to the City including indemnities, warranties, options to purchase, no development covenants, equitable charges, letters of credit, and withholding of permits, as considered advisable by, and in a form satisfactory to, the Director of Legal Services.

The timing of all required payments shall be determined by the appropriate City official having responsibility for each particular agreement, who may consult other City officials and City Council.

If dates are established for enactment which in the opinion of the Director of Legal Services would require increased resources within the Law Department, or which require, in the opinion of the Director of Legal Services, the retaining of outside counsel, reimbursement for these costs will be required from the property owner.

Staff Opening Comments

Mr. Rob Whitlock, Planner, Community Planning, circulated a July 25, 1995 memorandum (on file), which provided clarification with respect to the inclusion of artist studio with ancillary residential, congregate care housing and flexibility of interior side yards for buildings along Arbutus Street, as requested at the Standing Committee on City Services and Budgets meeting on June 29, 1995.

Mr. Whitlock noted the community has had little opportunity to discuss artist live/work studio and congregate housing as permitted uses as they did not form part of the rezoning proposal prior to notices for the Public Hearing.

cont'd....

Clause No. 1 (cont'd)

In considering artist studio, the following options are available to Council:

- 1A. Not allow artist studios at all; or
- 1B. Allow Artist Studio, subject to the following limitations:
 - (i) maximum floor space ratio of 0.45, to be applied to the combined total of artist live/work studios and congregate housing;
 - (ii) artist studio to be defined as the "use of premises for the production of creative writing, painting, drawings, pottery, or sculpture, video, moving or still photography that does not involve one or more of the following processes: welding, woodworking, spray painting, silk screening, fired ceramics and the use of fibreglass, epoxy, and other toxic materials"; or
- 1C. Allow as in 1B, but limit artist live/work studios to the arbutus street parcel; or
- 1D. Do not approve the use now, and require the applicant to seek a subsequent amendment to the CD-1 when a detailed scheme of development is ready, so that staff might analyze the impacts of the proposal more thoroughly, and with a specific scheme, rather than responding to theoretical possibilities.

Staff recommend option 1B.

In considering congregate housing, the following options are available to Council:

- 2A. Not allow Special Needs Residential Facilities - Congregate Housing; or
- 2B. Allow Special Needs Residential facilities - Congregate Housing, subject to a maximum limit of 0.45 FSR for all special purpose residential uses for this site.

Staff favour option 2B.

With respect to flexibility in the requirement of interior side yards for buildings along Arbutus Street, the following change in wording is recommended for inclusion in the guidelines (see Condition of Approval (b)(iii) - Guidelines):

Clause No. 1 (cont'd)

"Consideration may be given to elimination of the interior side yards between sites fronting Arbutus Street (2135 West 12th Avenue and 2725 Arbutus Street) in order to accommodate continuous building and retail continuity, subject to the following:

- the change is considered to be to the benefit of the overall environment along Arbutus Street and of benefit to pedestrians;
- proper attention is given to pedestrian scale and character along Arbutus Street; and
- the overall effect is aimed at creating a properly articulated building frontage, rather than a singular, monolithic facade.

This consideration will be subject to review by Planning and Engineering Services."

Mr. Whitlock also circulated a July 27, 1995 memorandum from the General Manager of Engineering Services, recommending that condition of approval (d) (iii) (d) regarding the north-south road be replaced as follows:

- (d) require from the eastern portion of the site transfer to the City for a north-south road parallel to and approximately 27 m west of Arbutus Street, a strip of land 15.24 m wide or as may otherwise be determined by the General Manager, Engineering Services, and if less than 15.24 m require the difference to be given over to access by statutory rights-of-way to the City AND require the design, construction and installation of the access and landscaping for this strip of land.

Applicant Opening Comments

Mr. Alan Gjernes, VLC Properties, indicated it was his preference to include both artist live/work and congregate housing in the proposal, but if the community wishes more time for discussion, he is prepared to have the two uses deleted from the list of uses at this time, meet with the community and return for a text amendment once discussion has concluded.

Mr. Phil Levine, IBI Group, concurred that if Council and the community felt there was more discussion necessary on the inclusion of the two uses in the proposal, they could be deleted at this time.

cont'd....

Clause No. 1 (cont'd)

Summary of Correspondence

The following correspondence was received:

- one letter in support of the application;
- two letters in opposition to the application.

Speakers

The Mayor called for speakers for and against the application, and the following addressed Council.

Ms. Bernie Monaghan, Kitsilano/Arbutus Residents' Association, noted she had been advised by Mr. Whitlock by letter dated July 7, 1995, of the inclusion of artist live/work and congregate housing in the proposal which would be presented to Public Hearing. It was too late at this stage for the Association to fully discuss these issues and issues related to their inclusion or exclusion. If the applicants wish to proceed at a later date, discussions should be held at an early stage with the community.

MOVED by Cllr. Clarke,

A. THAT the application by the IBI Group to rezone 2725 Arbutus Street from M-1 Industrial District to CD-1 Comprehensive Development District be approved subject to the conditions of approval listed in this minute proposed for adoption by resolution of Council, with the following amendments to the draft by-law:

- delete the definition of Artist Studio in Section 3;
- delete the uses Artist Studio and Special Needs Residential Facility-Congregate Housing in Sections 4(a) and 4(h);
- delete the use Residential Unit associated with and forming an integral part of an Artist Studio in Section 4(f);
- delete the words "including a total maximum floor space ratio for Artist Studio and Special Needs Residential Facility-Congregate Housing of 0.45" in Section 5.1.

cont'd....

Clause No. 1 (cont'd)

B. THAT condition of approval (d) (iii) (d) be amended by deleting and substituting the following therefor:

(d) require from the eastern portion of the site transfer to the City for a north-south road parallel to and approximately 27 m west of Arbutus Street, a strip of land 15.24 m wide or as may otherwise be determined by the General Manager, Engineering Services, and if less than 15.24 m require the difference to be given over to access by statutory rights-of-way to the City AND require the design, construction and installation of the access and landscaping for this strip of land.

C. THAT the following guideline addition be approved:

"Consideration may be given to elimination of the interior side yards between sites fronting Arbutus Street (2135 West 12th Avenue and 2725 Arbutus Street) in order to accommodate continuous building and retail continuity, subject to review by Planning and Engineering Services and subject to the following:

- the change is considered to be to the benefit of the overall environment along Arbutus Street and of benefit to pedestrians;
- proper attention is given to pedestrian scale and character along Arbutus Street; and
- the overall effect is aimed at creating a properly articulated building frontage, rather than a singular, monolithic facade.

D. THAT if the applicants wish to pursue reintroduction of Artist Studio and/or Congregate Housing at a future date, they be advised to do this after consultation with the community.

- CARRIED UNANIMOUSLY

(Cllr. Puil opposed to any reintroduction of Artist Studio in this development)

2725 Arbutus Street
(Twinpak)

BY-LAW NO. 7654

A By-law to amend
By-law No. 3575, being the
Zoning and Development By-law

*To get a
copy of the
guidance from
Rob Smith.*

THE COUNCIL OF THE CITY OF VANCOUVER, in open
enacts as follows:

1. The "Zoning District Plan" annexed to By-law "D" is hereby amended according to the plan marginally attached to this By-law as Schedule "A", and in accordance with the legends, notations and references inscribed thereon, so that the boundaries and districts shown on the Zoning District Plan are varied, amended or substituted to the extent shown on Schedule "A" of this By-law, and Schedule "A" of this By-law is hereby incorporated as an integral part of Schedule "D" of By-law No. 3575.

2. Intent

The intent of this By-law is to permit the development of the site with residential uses, in a form which complements, and is compatible with, the character of adjacent areas but also to permit commercial uses along Arbutus Street and West 11th Avenue between Arbutus Street and the newly dedicated street to the west.

Development on the site will be consistent with the following objectives:

- (a) achieve a built form which is complementary to the form of development of adjacent areas of Kitsilano, which may include both residential and industrial character;
- (b) achieve housing consistent with the principles of livability and other social and environmental objectives;
- (c) provide pedestrian links to adjacent areas; and
- (d) provide adequate on-site parking and loading spaces for all uses within the site.

3. Definitions

Words used in this By-law will have the meaning assigned to them in the Zoning and Development By-law, with the following addition:

Interim Use means any use not specifically listed in this By-law and intended to be of only temporary duration.

4. Uses

The area shown included within the heavy black outline on Schedule "A" shall be more particularly described as CD-1(357), and the only uses permitted within the outlined area, subject to such conditions as Council may by resolution prescribe, and the only uses for which development permits will be issued are:

- (a) Child Day Care Facility,
- (b) Cultural and Recreational Uses,
- (c) Dwelling Units, with a minimum of 34 dwelling units, or if more than 135 dwelling units are developed, 25 percent of the total number of dwelling units will be developed as two bedrooms or more and generally designed in accordance with the Council-adopted "High-Density Housing for Families with Children Guidelines",
- (d) Park or Playground,
- (e) The following uses, limited to a total floor area of 1 050 m² and restricted to Arbutus Street and West 11th Avenue between Arbutus Street and the newly dedicated street to the west:
 - (i) Office Uses,
 - (ii) Retail Uses, but not including Adult Retail Store, Gasoline Station - Full Serve, Gasoline Station - Split Island, and Vehicle Dealer,
 - (iii) Service Uses, but not including Bed and Breakfast Accommodation, Body-rub Parlour, Drive-through Service, Funeral Home, Laboratory, Laundry or Cleaning Plant, Motor Vehicle Repair Shop, Motor Vehicle Wash, Photofinishing or Photography Laboratory, Repair Shop - Class A, and Sign Painting Shop.
- (f) Accessory Uses customarily ancillary to the above uses, and

- (g) Interim Uses and Accessory Uses customarily ancillary thereto, provided that
 - (i) the Development Permit Board considers that the use will be compatible with and not adversely affect adjacent development that either exists or is permitted by this By-law,
 - (ii) the Development Permit Board is satisfied that the use can be easily removed, and is of low intensity or low in capital investment,
 - (iii) the Development Permit Board is satisfied that there is no increase in risk to the public from contaminated soils either on or adjacent to the subject site, and
 - (iv) development permits are limited in time to periods not exceeding 3 years.

5. Floor Space Ratio

5.1 The Development Permit Board may permit a maximum floor space ratio of up to 1.90 provided that it first considers:

- (a) all applicable policies and guidelines adopted by Council;
- (b) the bulk, location and overall design of a building and its effect on the site, surrounding buildings and streets;
- (c) the design and livability of any dwelling uses; and
- (d) the provision of open space, including private patios and balconies, and useable common areas.

For the purpose of computing floor space ratio, the site is all parcels covered by this By-law, and is deemed to be 6 271 m², being the site size at time of application for rezoning, prior to any dedications.

5.2 The following will be included in the computation of floor space ratio:

- (a) all floors, having a minimum ceiling height of 1.2 m, including earthen floor, both above and below ground level, to be measured to the extreme outer limits of the building; and
- (b) stairways, fire escapes, elevator shafts and other features which

the Director of Planning considers similar, to be measured by their gross cross-sectional areas and included in the measurements for each floor at which they are located.

5.3 The following will be excluded in the computation of floor space ratio:

- (a) open residential balconies or sundecks, and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that the total area of all open residential balconies or sundecks, and any other appurtenances does not exceed 8 percent of the residential floor area being provided;
- (b) patios and roof gardens for residential purposes only, provided that the Director of Planning first approves the design of sunroofs and walls;
- (c) where floors are used for off-street parking and loading, bicycle storage, heating and mechanical equipment, or uses which in the opinion of the Director of Planning are similar to the foregoing, those floors or portions thereof so used which are at or below the base surface;
- (d) amenity areas, accessory to a residential use, including recreation facilities and meeting rooms, provided that the total area being excluded shall not exceed 40 m² for each development parcel, except in the case of non-market housing where the area shall not exceed 100 m²;
- (e) areas of undeveloped floors which are located
 - (i) above the highest storey or half-storey and to which there is no permanent means of access other than a hatch, or
 - (ii) adjacent to a storey or half-storey with a ceiling height of less than 1.2 m; and
- (f) residential storage space provided that where the space is provided at or above base surface, the maximum exclusion shall be 3.7 m² per dwelling unit.

5.4 The Director of Planning may permit the following to be excluded in the computation of floor space ratio:

- (a) enclosed residential balconies, provided that the Director of

Planning first considers all applicable policies and guidelines adopted by Council and approves the design of any balcony enclosure, and provided further that the total area of all open and enclosed balcony or sundeck exclusions does not exceed 8 percent of the residential floor area being provided.

6. Height

6.1 The maximum building height, measured above the base surface, is 15.3 m, subject to the relaxation of limitations on building heights set out in Section 10.11.1 of the Zoning and Development By-law.

6.2 The Director of Planning may permit a decorative roof, which may include items referred to in Section 10.11.1 of the Zoning and Development By-law, to exceed the maximum height otherwise specified in this By-law, provided that:

- (a) the Director of Planning is satisfied that the roof enhances the overall appearance of the building and appropriately integrates mechanical appurtenances;
- (b) the roof does not add to the floor area otherwise permitted; and
- (c) the Director of Planning first considers all applicable policies and guidelines adopted by Council.

7. Off-Street Parking and Loading

7.1 Off-street parking must be provided, developed and maintained in accordance with the applicable provisions of the Parking By-law as if the site is zoned RM-4.

7.2 Off-street loading must be provided, developed and maintained in accordance with the applicable provisions of the Parking By-law, except that one loading bay must be provided for every 200 dwelling units.

8. Acoustics

All development permit applications require evidence in the form of a report and recommendations prepared by a person trained in acoustics and current techniques of noise measurement demonstrating that the noise levels in those portions of the dwelling units listed below will not exceed the noise level set opposite such portions. For the purposes of this section the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as noise level in decibels.

PORTIONS OF DWELLING UNITS

NOISE LEVELS (DECIBELS)

bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45
common-use roof decks and patios	55

9. This By-law comes into force and takes effect on the date of its passing.

DONE AND PASSED in open Council this 5th day of November ,
1995.

"(signed) Philip W. Owen"

Mayor

"(signed) Maria C. Kinsella"

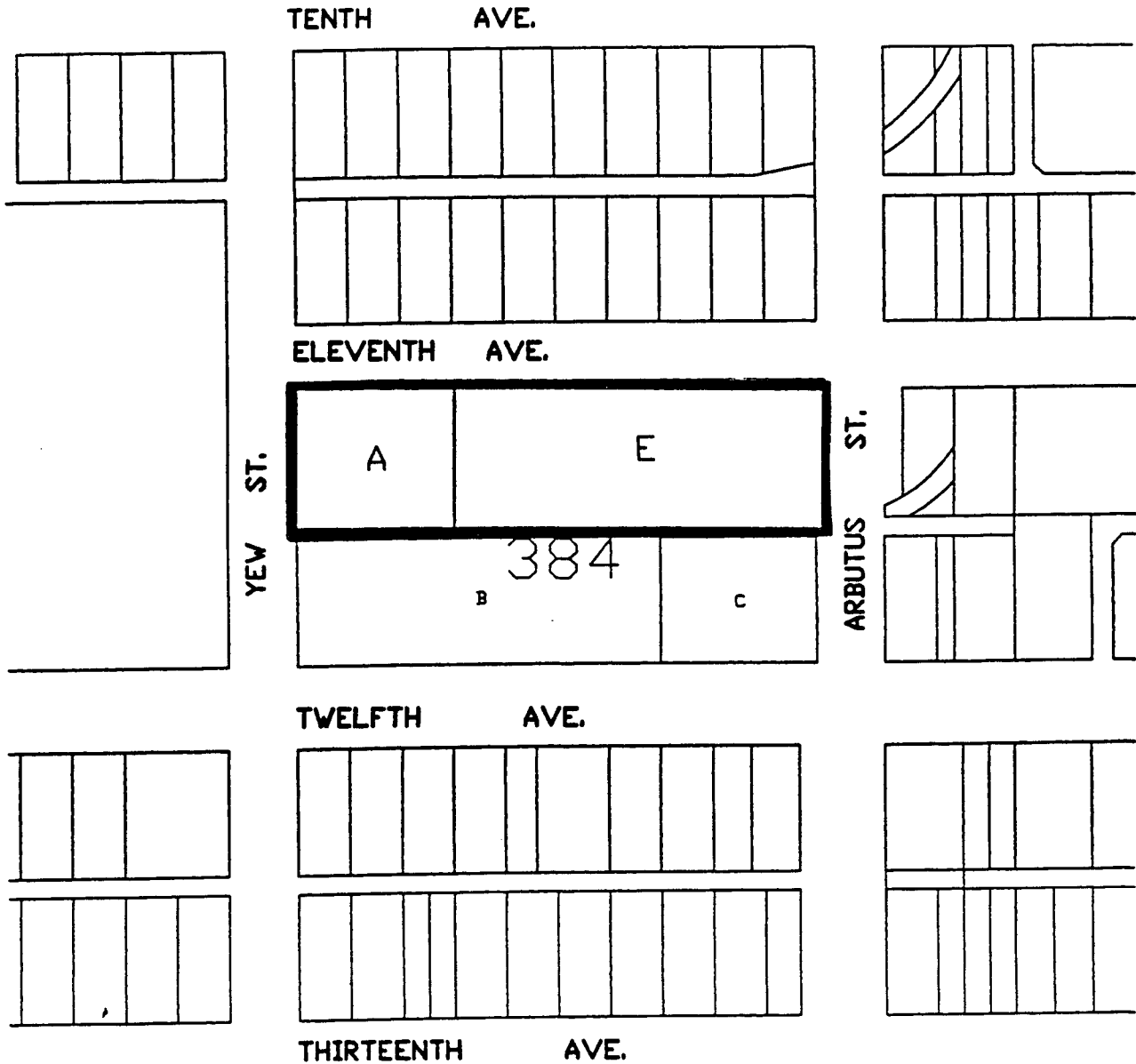
City Clerk


^{2725arbu}

"I hereby certify that the foregoing is a correct copy of By-law passed by the Council of the City of Vancouver on the 5th day of November 1996, and numbered 7654.

City Clerk"

BY-LAW No. 7654 BEING A BY-LAW TO AMEND BY-LAW No. 3575
BEING THE ZONING & DEVELOPMENT BY-LAW



The property outlined in black () is rezoned:
From **M-1** To **CD-1**

Z-444(b)

RZ 2725 Arbutus Street

map: 1 of 1

City of Vancouver Planning Department

scale: 1:2000



CITY OF VANCOUVER



MEMORANDUM

From: CITY CLERK'S OFFICE

Date: November 8, 1996

Refer File: 5301-3

To: Ken Dobell, City Manager
Ted Droettboom, General Manager of Community Services
Rick Scobie, Director of Land Use & Development

Subject: CD-1 Guidelines - 2725 Arbutus Street
(Twin Pak)

RECEIVED
PLANNING DEPARTMENT
NOV 13 1996
NUMBER S 10035
REFERRED TO FAS
COPY TO (RJ)
ANSWER REQ'D.

On November 5, 1996, Vancouver City Council passed the following motion:

"THAT the document entitled 'Arbutus/Vine Industrial Area CD-1 Guidelines', originally adopted by Council June 21, 1994, be used by applicants and staff for development applications at 2725 Arbutus Street."

Shobha Rae
Committee Clerk

SRae:dmy

BY-LAW NO. ~~7667~~

A By-law to amend
By-law No. 6510, being the
Sign By-law

THE COUNCIL OF THE CITY OF VANCOUVER, in open meeting
assembled, enacts as follows:

1. Schedule E to By-law No. 6510 is amended by adding the
following:

"5104-5156 Joyce St.	CD-1(352)	7639	B(C-2C)
303 Railway Ave.	CD-1(354)	7645	B(M-2)
2725 Arbutus St.	CD-1(357)	7654	B(C-2C)
705 West Broadway	CD-1(358)	7648	B(C-3A)
245-295 Alexander St.	CD-1(361)	7652	B(M-2)"

2. This By-law comes into force and takes effect on the date of
its passing.

DONE AND PASSED in open Council this 26th day of
November , 1996.

"(signed) Philip W. Owen"
Mayor

"(signed) Maria C. Kinsella"
City Clerk

"I hereby certify that the foregoing is a correct copy of By-law passed by the Council of the
City of Vancouver on the 26th day of November 1996, and numbered 7667.

CITY CLERK"

BY-LAWS (CONT'D)

- 8. A By-law to amend By-law No. 6510,
being the Sign By-law
(Sign By-law - Various Sites)

MOVED by Cllr. Price,
SECONDED by Cllr. Chiavario,
THAT the By-law be introduced and read a first time.

- CARRIED UNANIMOUSLY

The By-law was read a first time and the Presiding Officer declared the By-law open for discussion and amendment.

There being no amendments, it was

MOVED by Cllr. Price,
SECONDED by Cllr. Chiavario,
THAT the By-law be given second and third readings and the Mayor and City Clerk be authorized to sign and seal the By-law.

- CARRIED UNANIMOUSLY

- 9. A By-law to Designate Heritage
Property, and to amend By-law No.
4837, being the Heritage By-law
(Designation of 901 Seymour Street)

MOVED by Cllr. Price,
SECONDED by Cllr. Chiavario,
THAT the By-law be introduced and read a first time.

- CARRIED UNANIMOUSLY

The By-law was read a first time and the Presiding Officer declared the By-law open for discussion and amendment.

There being no amendments, it was

MOVED by Cllr. Price,
SECONDED by Cllr. Chiavario,
THAT the By-law be given second and third readings and the Mayor and City Clerk be authorized to sign and seal the By-law.

- CARRIED UNANIMOUSLY

ADMINISTRATIVE REPORT

Date: July 8, 1997
Dept. File No. WB
C.C. File No.: 2604

TO: Vancouver City Council

FROM: Director of Community Planning on behalf of Land Use and Development

SUBJECT: Form of Development - 2701 Arbutus Street
D.E. 402052 - CD-1 By-law Numbers 7317 and 7654
Owner of Development - Greystone Properties Ltd.

RECOMMENDATION

THAT, subject to enactment of text amendments to the CD-1 By-laws later this day, the approved form of development for this portion of the CD-1 zoned sites known as 2135 West 12th Avenue and 2725 Arbutus Street (2701 Arbutus Street being the application address) be generally approved as illustrated in Development Application Number DE402052, prepared by Neale Staniszkis Doll Adams Architects and stamped "Received, City Planning Department June 4, 1997", provided that the Director of Planning may approve design changes which would not adversely affect either the development character of this site or adjacent properties.

GENERAL MANAGER'S COMMENTS

The General Manager of Community Services **RECOMMENDS** approval of the foregoing.

COUNCIL POLICY

There is no applicable Council policy except that Council did approve in principle the forms of development for these CD-1 sites when the rezonings were approved, following Public Hearings.

PURPOSE

In accordance with Charter requirements, this report seeks Council's approval for the final form of development for this portion of the above-noted site, a by-law to amend the CD-1 By-laws being before Council later this day.

SITE DESCRIPTION AND BACKGROUND

This proposal straddles two existing CD-1 Comprehensive Development Districts.

On March 8, 1994, following a Public Hearing held on February 23, 1994, Council approved a rezoning of the site known as 2135 West 12th Avenue from M-1 Industrial District to CD-1. Council also approved in principle the form of development for these lands. CD-1 By-law Number 7317 was enacted on June 21, 1994. Companion Guidelines (Arbutus/Vine Industrial Area CD-1 Guidelines) were also adopted by Council resolution at that time.

At a subsequent Public Hearing on July 27, 1995, Council approved a rezoning of the site known as 2725 Arbutus Street, from M-1 Industrial District to CD-1. CD-1 By-law Number 7654 was enacted on November 5, 1996. The previously adopted Companion Guidelines (Arbutus/Vine Industrial Area CD-1 Guidelines) also apply to development on this site.

Council may recall at the July, 1995 Public Hearing, the applicant indicated their intention to develop a "single frontage" building along Arbutus Street, straddling these two CD-1 Districts. The Guidelines were subsequently amended to allow consideration of this approach in order to accommodate a continuous building and provide retail continuity along Arbutus Street.

The site and surrounding zoning are shown on the attached Appendix 'A'.

Subsequent to Council's approval of the CD-1 rezonings, the Director of Planning approved Development Application Number DE402052. This approval was subject to various conditions, including Council's approval of the form of development. The latter condition is one of the few outstanding prior to permit issuance.

DISCUSSION

The proposal involves the construction of a four-storey mixed-use development having retail and restaurant uses on the ground floor fronting onto Arbutus Street and a total of 81 condominium and townhouse dwelling units. Two and one half levels of underground parking will be provided having vehicle access from a newly created street (Salal Street) on the west side of the site.

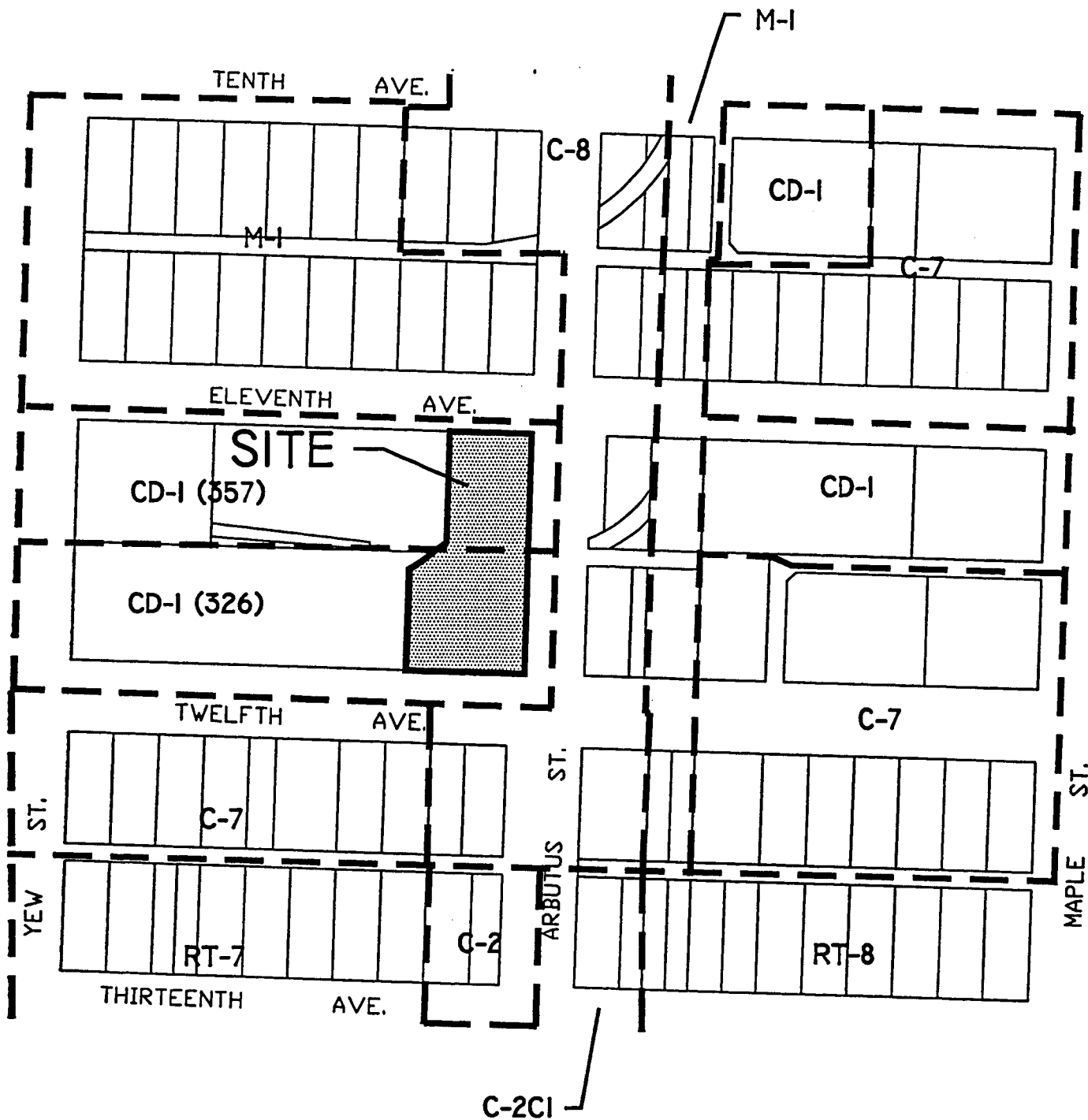
The proposed development has been assessed against the CD-1 By-law (including the text amendments being considered for enactment by Council later this day) and the Council-approved guidelines and was found to respond to the stated objectives.

Simplified plans, including a site plan and elevations of the proposal, have been included in Appendix 'B'.

CONCLUSION

The Director of Planning has approved Development Application Number DE402052, subject to various conditions to be met prior to the issuance of the development permit. One of these conditions is that the form of development first be approved by Council.

* * * * *



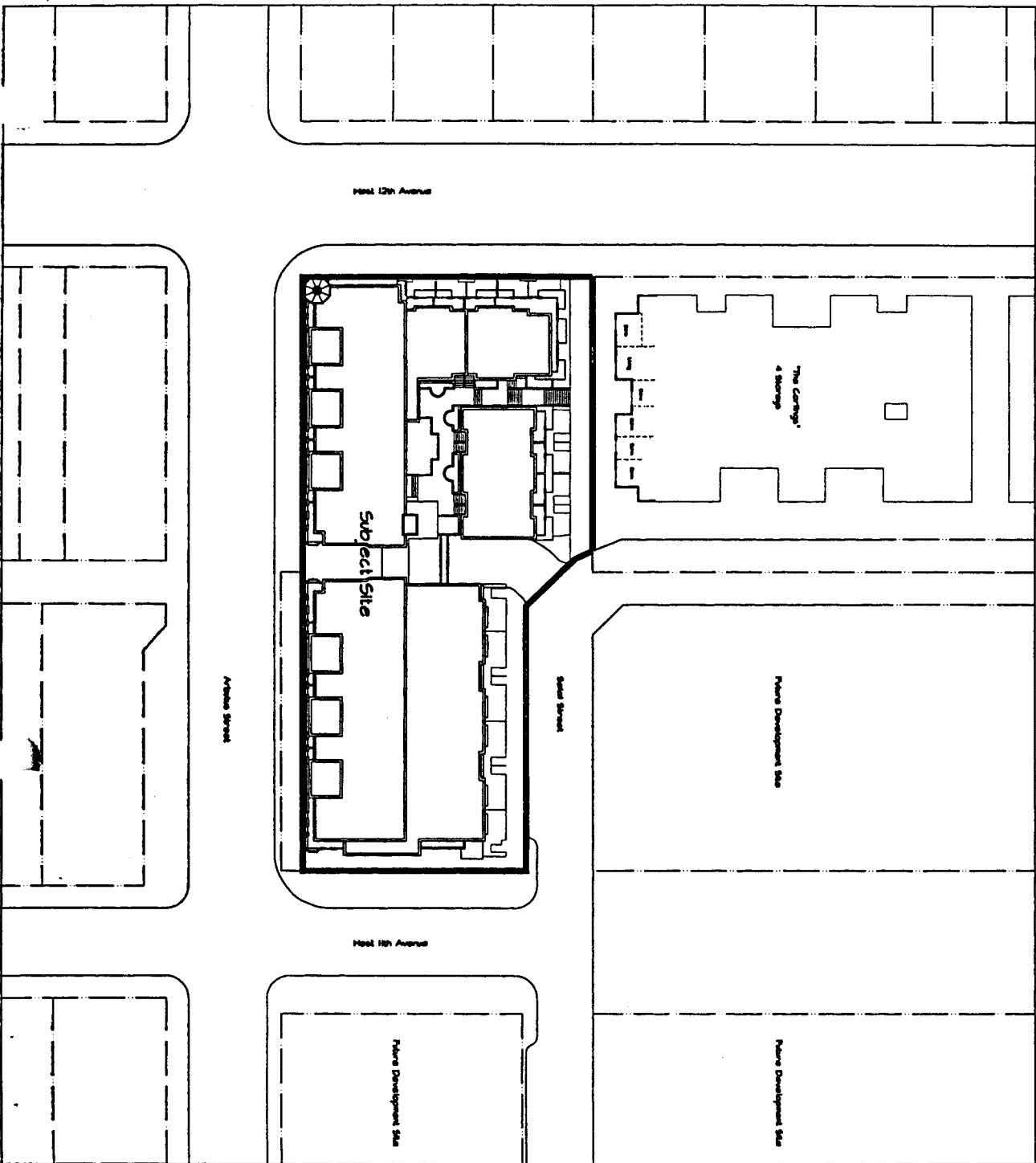
--- ZONING BOUNDARY

2701 ARBUTUS ST DE 402052	DATE 1997 06 26	↑
	DRAWN WGKS	
CITY OF VANCOUVER PLANNING DEPARTMENT	SCALE 1:2000	FILE: C:\VPMAPS\2701ARB.DWG

The Zydenco 12th Ave. & Arbutus St.

Greystone Properties Ltd.
LOCATION PLAN

2725 Arbutus St. / 2135 W. 12th Ave.
DESIGN RATIONALE



40 Site Description
41 General
42 Project Description
43 Design Rationale
44 Organization and Planning
45 Site Plan
46 Site Plan
47 Site Plan
48 Site Plan
49 Site Plan
50 Site Plan
51 Site Plan
52 Site Plan
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SITE STATISTICS

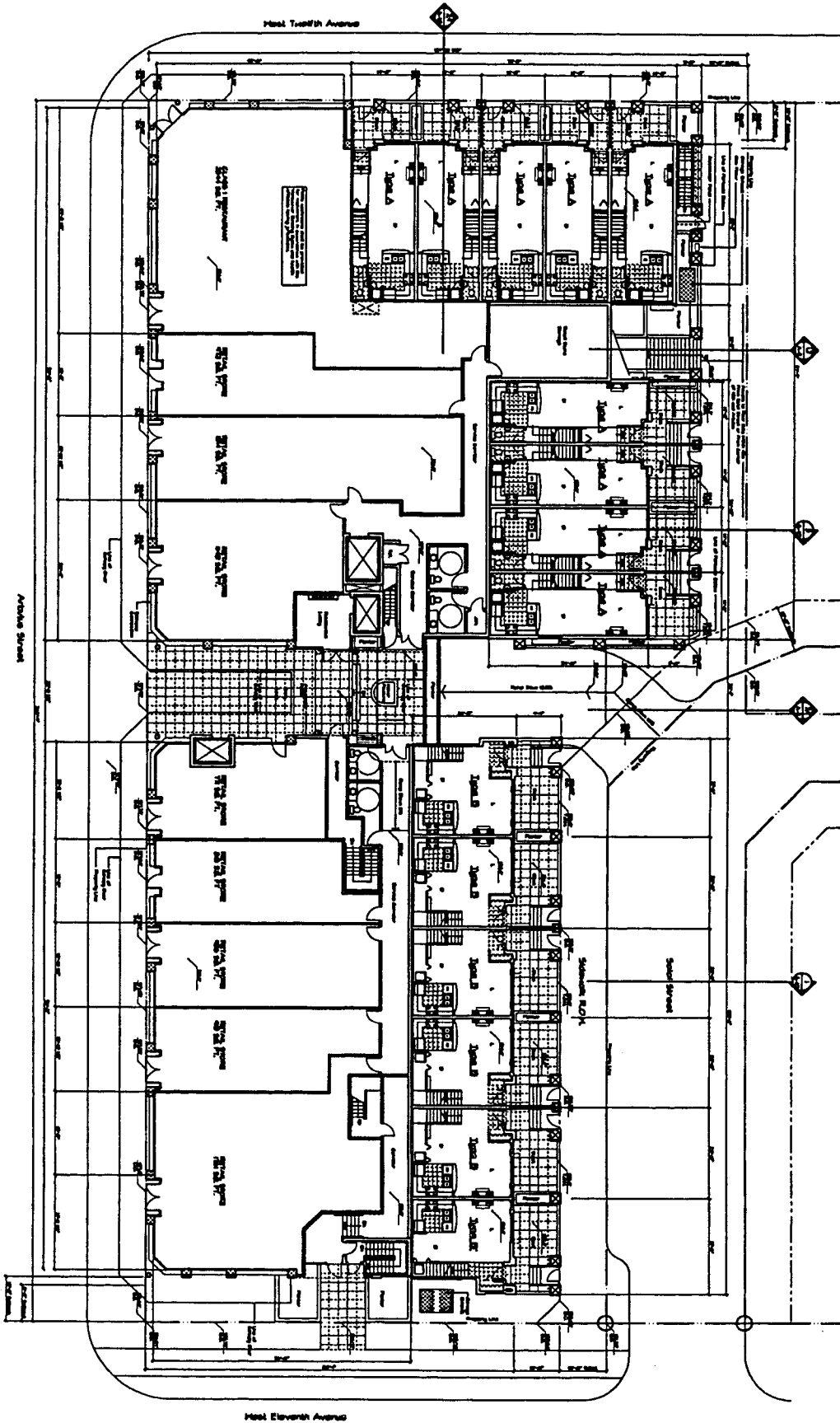
Street Address	Site Address	Site Area (sq. ft.)	Area (sq. ft.)
1234 Main St.	1234 Main St.	1000	1000
5678 Main St.	5678 Main St.	2000	2000
9101 Main St.	9101 Main St.	3000	3000
2345 Main St.	2345 Main St.	4000	4000
6789 Main St.	6789 Main St.	5000	5000
0123 Main St.	0123 Main St.	6000	6000
4567 Main St.	4567 Main St.	7000	7000
8901 Main St.	8901 Main St.	8000	8000
2345 Main St.	2345 Main St.	9000	9000
6789 Main St.	6789 Main St.	10000	10000
0123 Main St.	0123 Main St.	11000	11000
4567 Main St.	4567 Main St.	12000	12000
8901 Main St.	8901 Main St.	13000	13000
2345 Main St.	2345 Main St.	14000	14000
6789 Main St.	6789 Main St.	15000	15000
0123 Main St.	0123 Main St.	16000	16000
4567 Main St.	4567 Main St.	17000	17000
8901 Main St.	8901 Main St.	18000	18000
2345 Main St.	2345 Main St.	19000	19000
6789 Main St.	6789 Main St.	20000	20000
0123 Main St.	0123 Main St.	21000	21000
4567 Main St.	4567 Main St.	22000	22000
8901 Main St.	8901 Main St.	23000	23000
2345 Main St.	2345 Main St.	24000	24000
6789 Main St.	6789 Main St.	25000	25000
0123 Main St.	0123 Main St.	26000	26000
4567 Main St.	4567 Main St.	27000	27000
8901 Main St.	8901 Main St.	28000	28000
2345 Main St.	2345 Main St.	29000	29000
6789 Main St.	6789 Main St.	30000	30000
0123 Main St.	0123 Main St.	31000	31000
4567 Main St.	4567 Main St.	32000	32000
8901 Main St.	8901 Main St.	33000	33000
2345 Main St.	2345 Main St.	34000	34000
6789 Main St.	6789 Main St.	35000	35000
0123 Main St.	0123 Main St.	36000	36000
4567 Main St.	4567 Main St.	37000	37000
8901 Main St.	8901 Main St.	38000	38000
2345 Main St.	2345 Main St.	39000	39000
6789 Main St.	6789 Main St.	40000	40000
0123 Main St.	0123 Main St.	41000	41000
4567 Main St.	4567 Main St.	42000	42000
8901 Main St.	8901 Main St.	43000	43000
2345 Main St.	2345 Main St.	44000	44000
6789 Main St.	6789 Main St.	45000	45000
0123 Main St.	0123 Main St.	46000	46000
4567 Main St.	4567 Main St.	47000	47000
8901 Main St.	8901 Main St.	48000	48000
2345 Main St.	2345 Main St.	49000	49000
6789 Main St.	6789 Main St.	50000	50000
0123 Main St.	0123 Main St.	51000	51000
4567 Main St.	4567 Main St.	52000	52000
8901 Main St.	8901 Main St.	53000	53000
2345 Main St.	2345 Main St.	54000	54000
6789 Main St.	6789 Main St.	55000	55000
0123 Main St.	0123 Main St.	56000	56000
4567 Main St.	4567 Main St.	57000	57000
8901 Main St.	8901 Main St.	58000	58000
2345 Main St.	2345 Main St.	59000	59000
6789 Main St.	6789 Main St.	60000	60000
0123 Main St.	0123 Main St.	61000	61000
4567 Main St.	4567 Main St.	62000	62000
8901 Main St.	8901 Main St.	63000	63000
2345 Main St.	2345 Main St.	64000	64000
6789 Main St.	6789 Main St.	65000	65000
0123 Main St.	0123 Main St.	66000	66000
4567 Main St.	4567 Main St.	67000	67000
8901 Main St.	8901 Main St.	68000	68000
2345 Main St.	2345 Main St.	69000	69000
6789 Main St.	6789 Main St.	70000	70000
0123 Main St.	0123 Main St.	71000	71000
4567 Main St.	4567 Main St.	72000	72000
8901 Main St.	8901 Main St.	73000	73000
2345 Main St.	2345 Main St.	74000	74000
6789 Main St.	6789 Main St.	75000	75000
0123 Main St.	0123 Main St.	76000	76000
4567 Main St.	4567 Main St.	77000	77000
8901 Main St.	8901 Main St.	78000	78000
2345 Main St.	2345 Main St.	79000	79000
6789 Main St.	6789 Main St.	80000	80000
0123 Main St.	0123 Main St.	81000	81000
4567 Main St.	4567 Main St.	82000	82000
8901 Main St.	8901 Main St.	83000	83000
2345 Main St.	2345 Main St.	84000	84000
6789 Main St.	6789 Main St.	85000	85000
0123 Main St.	0123 Main St.	86000	86000
4567 Main St.	4567 Main St.	87000	87000
8901 Main St.	8901 Main St.	88000	88000
2345 Main St.	2345 Main St.	89000	89000
6789 Main St.	6789 Main St.	90000	90000
0123 Main St.	0123 Main St.	91000	91000
4567 Main St.	4567 Main St.	92000	92000
8901 Main St.	8901 Main St.	93000	93000
2345 Main St.	2345 Main St.	94000	94000
6789 Main St.	6789 Main St.	95000	95000
0123 Main St.	0123 Main St.	96000	96000
4567 Main St.	4567 Main St.	97000	97000
8901 Main St.	8901 Main St.	98000	98000
2345 Main St.	2345 Main St.	99000	99000
6789 Main St.	6789 Main St.	100000	100000

DRAWING LIST

No.	Description
1	Site Plan
2	Site Plan
3	Site Plan
4	Site Plan
5	Site Plan
6	Site Plan
7	Site Plan
8	Site Plan
9	Site Plan
10	Site Plan
11	Site Plan
12	Site Plan
13	Site Plan
14	Site Plan
15	Site Plan
16	Site Plan
17	Site Plan
18	Site Plan
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97	Site Plan
98	Site Plan
99	Site Plan
100	Site Plan

Neale
Stanzkis
Doll
Adams
ARCHITECTS

17th and Arbutus
1/16" = 1'-0"
Location Plan
S0221 A-1



1. All dimensions are in feet and inches.

2. All dimensions are to the center of the wall unless otherwise noted.

3. All dimensions are to the center of the door unless otherwise noted.

4. All dimensions are to the center of the window unless otherwise noted.

5. All dimensions are to the center of the column unless otherwise noted.

6. All dimensions are to the center of the beam unless otherwise noted.

7. All dimensions are to the center of the slab unless otherwise noted.

8. All dimensions are to the center of the floor unless otherwise noted.

9. All dimensions are to the center of the ceiling unless otherwise noted.

10. All dimensions are to the center of the wall unless otherwise noted.

Neale
Stankis
Doll
Adams
ARCHITECTS

12th and Avenue

Ground Floor Plan

1/8" = 1'-0"

80013 A-4

1. All dimensions are in feet and inches.

2. All dimensions are to the center of the wall unless otherwise noted.

3. All dimensions are to the center of the door unless otherwise noted.

4. All dimensions are to the center of the window unless otherwise noted.

5. All dimensions are to the center of the column unless otherwise noted.

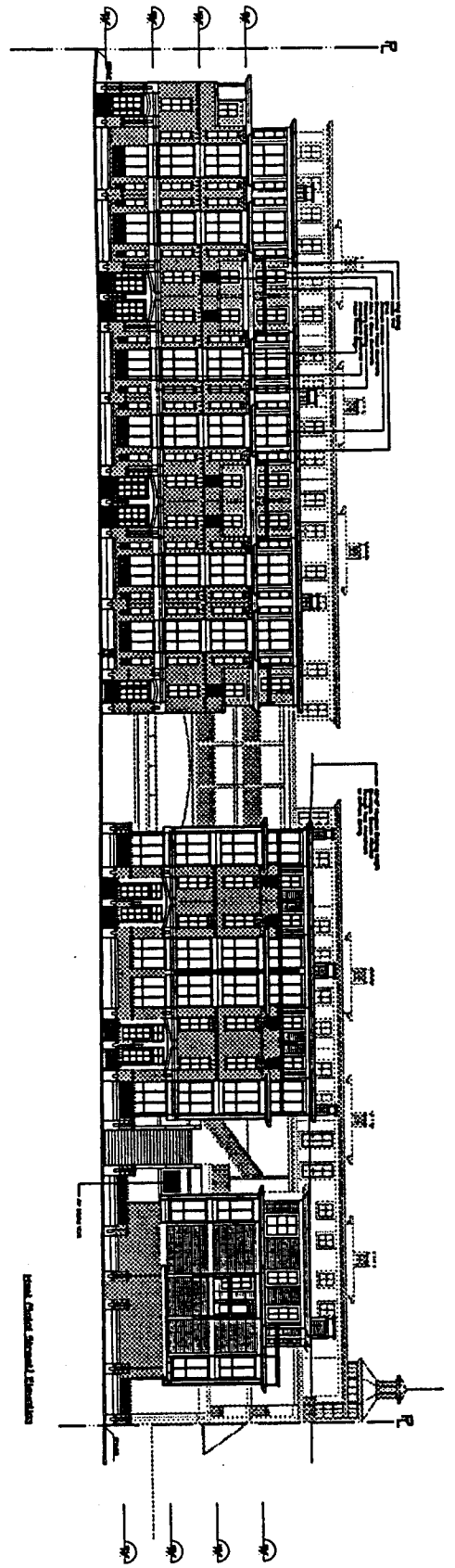
6. All dimensions are to the center of the beam unless otherwise noted.

7. All dimensions are to the center of the slab unless otherwise noted.

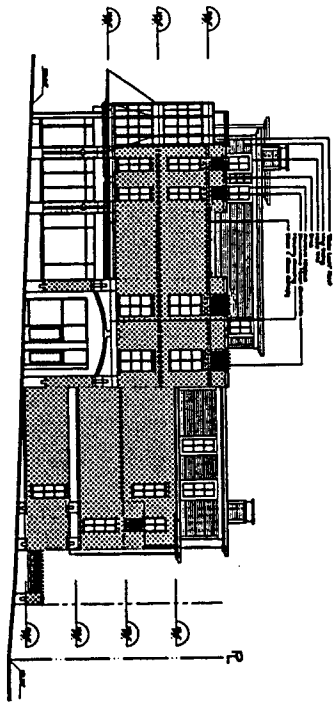
8. All dimensions are to the center of the floor unless otherwise noted.

9. All dimensions are to the center of the ceiling unless otherwise noted.

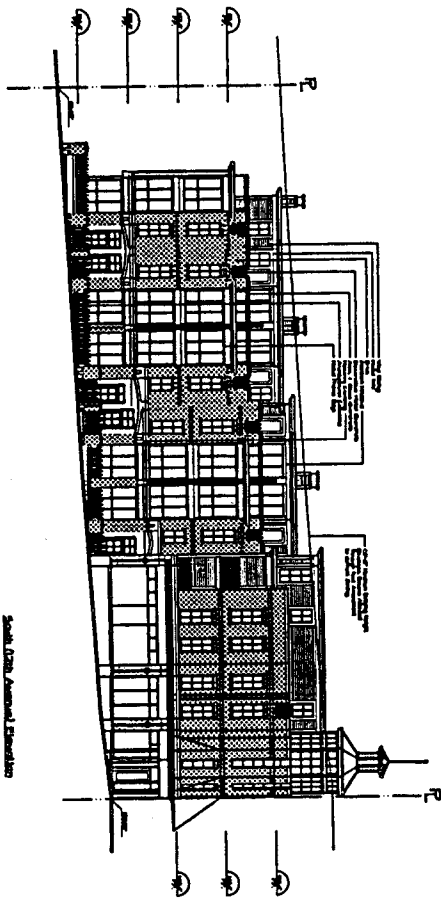
10. All dimensions are to the center of the wall unless otherwise noted.



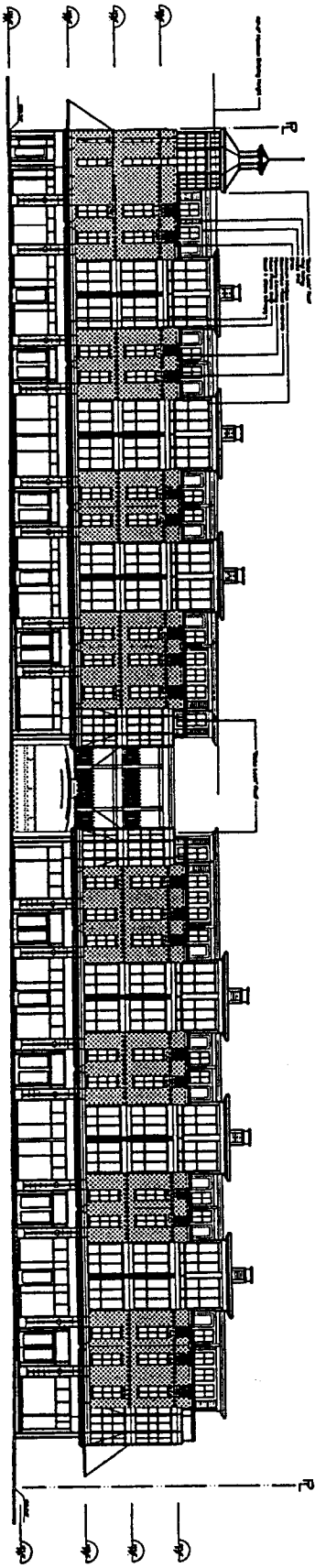
East Clark Street Residential



North 10th Avenue Residential



South 12th Avenue Residential



East Washburn Street Residential

SHEET NO. 1023
 DATE 10/1/23
 DRAWN BY J. W. ADAMS
 CHECKED BY J. W. ADAMS
 APPROVED BY J. W. ADAMS

ARCHITECTS
 Neale
 Staniszkis
 Doll
 Adams

12th & Ashland
 BUILDING EVIDENCE

1/8" = 1'-0"
 1023 A-9

Clause No. 1(a) and 1(b) (cont'd)

Speakers

Mayor Owen called for speakers for and against the application, and none were present.

MOVED by Cllr. Clarke,
THAT the application be approved.

- CARRIED UNANIMOUSLY

Items 2(a) and 2(b) were considered by Council concurrently.

2(a). CD-1 Text Amendment: 2135 West 12th Avenue

An application by Greystone Properties was considered as follows:

Summary: The proposed text amendment would permit a 4% increase to the maximum number of bachelor and 1-bedroom units (an increase from 25% to 29% of units) and an increase in the maximum height from 12.2 m (40 ft.) to 13.7 m (45 ft.).

The Director of Central Area Planning, on behalf of Land Use and Development, recommended approval of the application.

2(b). CD-1 Text Amendment: 2725 Arbutus Street

An application by the Director of Central Area Planning, on behalf of Land Use and Development, was considered as follows:

Summary: The proposed text amendment would require a 5% increase to the minimum number of 2-bedroom or more units that must be provided (an increase from 25% to 30% of units) if more than 135 units are developed. If less than 135 units are developed, the minimum two or more bedroom units that must be provided is increased from 34 to 40.

This application is a consequence of item 2(a) above.

cont'd....

Clause No. 2(a) and 2(b) (cont'd)

The Director of Central Area Planning, on behalf of Land Use and Development, recommended approval of the application.

Staff Comments

Staff offered no additional comments on this application.

Applicant Comments

The applicant offered no additional comments on this application.

Summary of Correspondence

There was no correspondence received on this application.

Speakers

Mayor Owen called for speakers for and against the application, and none were present.

MOVED by Cllr. Price,
THAT this application be approved.

- CARRIED UNANIMOUSLY

3. Rezoning: 2669 and 2675 Vanness Avenue

An application by Inder Bir Sarai was considered as follows:

Summary: The proposed rezoning from RS-1 to CD-1 would permit an infill one-family dwelling at the rear of each of two lots both developed with two-family dwellings in 1992.

The Director of Central Area Planning, on behalf of Land Use and Development, recommended approval of the application subject to the following conditions as proposed for adoption by resolution of Council:

cont'd....

2725 Arbutus Street

BY-LAW NO. 7774

A By-law to amend
By-law No. 7654,
being a By-law which amended the
Zoning and Development By-law
by rezoning an area to CD-1

THE COUNCIL OF THE CITY OF VANCOUVER, in open meeting assembled,
enacts as follows:

1. Section 4 is amended in clause (c) by deleting the phrase "34 dwelling units, or if more than 135 dwelling units are developed, 25 percent" and substituting the phrase "40 dwelling units, or if more than 135 dwelling units are developed, 30 percent".
2. This By-law comes into force and takes effect on the date of its passing.

DONE AND PASSED in open Council this 22nd day of July ,
1997.

"(signed) Philip W. Owen"
Mayor

"(signed) Maria C. Kinsella"
City Clerk

"I hereby certify that the foregoing is a correct copy of a By-law passed by the Council of the City of Vancouver on the 22nd day of July 1997, and numbered 7774.

CITY CLERK"

CITY OF VANCOUVER



PLANNING
NUMBER T 5130
REFERRED FAS
COPY TO
ANSWER REQUIRED

MEMORANDUM

FROM: City Clerk's Office

DATE: July 23, 1997
FILE: 2604

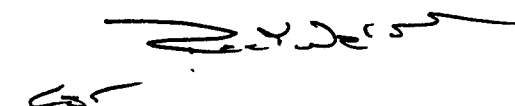
TO: Ted Droettboom, General Manager of Community Services
Jacquie Forbes-Roberts, Director of Community Planning
Rick Scobie, Director of Land Use and Development
Bill Boons, Land Use and Development Division

SUBJECT: Form of Development: 2701 Arbutus Street
D.E. 402052 - CD-1 By-law Numbers 7317 and 7654
Owner of Development: Greystone Properties Ltd.

CD-1 (851)

On July 22, 1997, Vancouver City Council approved the following recommendation as contained in a July 8, 1997 Administrative Report (A13):

THAT, subject to enactment of text amendments to the CD-1 By-laws later this day, the approved form of development for this portion of the CD-1 zoned sites known as 2135 West 12th Avenue and 2725 Arbutus Street (2701 Arbutus Street being the application address) be generally approved as illustrated in Development Application Number DE402052, prepared by Neale Staniszki Doll Adams Architects and stamped "Received, City Planning Department June 4, 1997", provided that the Director of Planning may approve design changes which would not adversely affect either the development character of this site or adjacent properties.


COMMITTEE CLERK

SRae:dmy

Letter to: Derek Neale, MAIBC
Neale Staniszki Doll Adams Architects
201 - 134 Abbott Street
Vancouver V6B 2K4

CITY MANAGER'S ADMINISTRATIVE REPORTS (CONT'D)

12. **Award of Tender No. 39-97-04,
The Supply of 75' Aerial Ladder and Pumper Fire Truck
June 30, 1997** File: 1801

As a delegation request was received on this matter, the report was referred to the July 24th meeting of the Standing Committee on ~~Planning and Environment~~.

13. **Form of Development - 2701 Arbutus Street
D.E. 402052 - CD-1 By-law Numbers 7317 and 7654
Owner of Development - Greystone Properties Ltd.
July 8, 1997** File: 2604

MOVED by Cllr. Price,

THAT, subject to enactment of text amendments to the CD-1 By-laws later this day, the approved form of development for this portion of the CD-1 zoned sites known as 2135 West 12th Avenue and 2725 Arbutus Street (2701 Arbutus Street being the application address) be generally approved as illustrated in Development Application Number DE402052, prepared by Neale Staniszki Doll Adams Architects and stamped "Received, City Planning Department June 4, 1997", provided that the Director of Planning may approve design changes which would not adversely affect either the development character of this site or adjacent properties.

- CARRIED UNANIMOUSLY

BY-LAWS (CONT'D)

6. **A By-law to amend By-law No. 7654, being a By-law which amended the Zoning and Development By-law by rezoning an area to CD-1 (2725 Arbutus Street)**

MOVED by Cllr. Price,
SECONDED by Cllr. Clarke,
THAT the By-law be introduced and read a first time.

- CARRIED UNANIMOUSLY

The By-law was read a first time and the Presiding Officer declared the By-law open for discussion and amendment.

There being no amendments, it was

MOVED by Cllr. Price,
SECONDED by Cllr. Clarke,
THAT the By-law be given second and third readings and the Mayor and City Clerk be authorized to sign and seal the By-law.

- CARRIED UNANIMOUSLY

**COUNCILLORS BELLAMY, KENNEDY AND PUIL WERE EXCUSED
FROM VOTING ON BY-LAW 6**

Information Technology Office Project**December 23, 1997** File: 1805

MOVED by Cllr. Bellamy,

A. THAT Council approve the budget for the Information Technology replacement project as detailed in the Administrative Report dated December 23, 1997, and the allocation of funding of \$736,000 from the City Hall Precinct category of the 1997-1999 Capital Plan in advance.

B. THAT Novacom Construction Ltd. be awarded the construction contract for the renovation of the second floor, 10th Avenue Annex and Main Building for IT's new offices in the amount of \$170,821 plus GST.

C. THAT Heritage Office Furnishings be awarded the contract for the supply of modular furniture for IT's new offices in the amount of \$365,007 plus GST.

- CARRIED UNANIMOUSLY

(Councillor Sullivan was not present for the vote)

7. Transfer of the Former VanCity Building to Capital Fund**December 24, 1997** File: 1602

MOVED by Cllr. Bellamy,

THAT Council approve the financing for the transfer of the former VanCity building from the PEF to the Capital Fund as set out in the Administrative Report dated December 24, 1997.

- CARRIED UNANIMOUSLY

(Councillor Sullivan was not present for the vote)

CITY MANAGER'S ADMINISTRATIVE REPORTS (CONT'D)**8. Form of Development: 2175 Salal Drive****December 23, 1997** File: 2608

MOVED by Cllr. Bellamy,

THAT the form of development for the CD-1 zoned site known as 2175 Salal Drive be approved generally as illustrated in the Development Application Number DE402702, prepared by Howard/Bingham/Hill Architects and stamped "Received, City Planning Department September 25, 1997", provided that the Director of Planning may approve design changes which would not adversely affect either the development character of this site or adjacent properties.

- CARRIED UNANIMOUSLY

CD-1 (357)

Miscellaneous Text (CD-1)

BY-LAW NO. 7874

1357
A By-law to amend By-laws No.
6744, 7522, 7531, 7551, 7556, 7601,
7654, 7655, 7677, 7681, and 7682, being by-laws
which amended the Zoning and Development
By-law by rezoning areas to CD-1

THE COUNCIL OF THE CITY OF VANCOUVER, in open meeting assembled,
enacts as follows:

1. By-law No. 6744 is amended by deleting section 9.3 and by renumbering section 9.4 as section 9.3.
2. By-laws No. 7531 and 7556 are each amended by deleting section 3.4, and substituting the following:
 - "3.4 The Director of Planning may permit the following to be excluded in the computation of floor space ratio:
 - (a) enclosed residential balconies, provided that the Director of Planning first considers all applicable policies and guidelines adopted by Council and approves the design of any balcony enclosure, subject to the following:
 - (i) the total area of all open and enclosed balcony or sundeck exclusions does not exceed eight percent of the residential floor area being provided; and
 - (ii) no more than fifty percent of the excluded balcony floor area may be enclosed."
3. By-law No. 7551 is amended in section 3.4, and By-laws No. 7654, 7677 and 7681 are each amended in section 5.4, by deleting clause (a) and substituting the following new clause (a):

“(a) enclosed residential balconies, provided that the Director of Planning first considers all applicable policies and guidelines adopted by Council and approves the design of any balcony enclosure, subject to the following:

(i) the total area of all open and enclosed balcony or sundeck exclusions does not exceed eight percent of the residential floor area being provided; and

(ii) no more than fifty percent of the excluded balcony floor area may be enclosed.”.

4. By-laws No. 7522, 7531, 7551 and 7556 are each amended in section 6, By-law No. 7601 is amended in section 8, By-law No. 7655 is amended in section 7, By-laws No. 7677 and 7681 are each amended in section 10, and By-law No. 7682 is amended in section 11, in each case by deleting the words “terraces, patios, balconies” from the left column and the corresponding number “60” from the right column.

5. By-law No. 7654 is further amended in section 8 by deleting the words “common use roof decks and patios” from the left column and the corresponding number “55” from the right column.

6. This By-law comes into force and takes effect on the date of its passing.

DONE AND PASSED in open Council this 21st day of April
1998.

(signed) Philip W. Owen

Mayor

(signed) Ulli S. Watkiss

City Clerk

"I hereby certify that the foregoing is a correct copy of a By-law passed by the Council of the City of Vancouver on the 21st day of April 1998, and numbered 7874.

CITY CLERK"

ADMINISTRATIVE REPORTS (CONT'D)

357

- 5. **Form of Development: 2733 Arbutus Street**
DE403370 - CD-1 By-law Numbers 7317 and 7654
Owner of Development: Greystone Properties
October 16, 1998

File: 2604-1
RTS: 164

MOVED by Cllr. Clarke,

THAT the revised form of development for this portion of the CD-1 zoned site known as 2135 West 12th Avenue and 2725 Arbutus Street (2733 Arbutus Street being the application address) be generally approved as illustrated in the Development Application Number DE403370, prepared by Howard Bingham Hill Architects and stamped "Received, City Planning Department October 9, 1998", provided that the Director of Planning may approve design changes which would not adversely affect either the development character of this site or adjacent properties.

- CARRIED UNANIMOUSLY

- 6. **Award of Contract No. 9813 - Supply and**
Installation of Distribution Watermain
October 20, 1998

File: 1805
RTS: 218

As a delegation request had been received, this report has been referred to a Standing Committee meeting on November 19, 1998.

- 7. **Support for 1998 Canadian Technical**
Asphalt Association Conference
October 19, 1998

File: 1310
RTS: 216

MOVED by Cllr. Puil,

That Council approve a contribution of \$1,500 to the 1998 Canadian Technical Asphalt Association Conference, with source of funds to be the 1998 Engineering Operating Budget.

- CARRIED UNANIMOUSLY
AND BY THE
REQUIRED MAJORITY



CITY OF VANCOUVER
SPECIAL COUNCIL MEETING MINUTES

NOVEMBER 20, 2003

A Special Meeting of the Council of the City of Vancouver was held on Thursday, November 20, 2003, at 7:30 p.m., in the Council Chamber, Third Floor, City Hall, for the purpose of holding a Public Hearing to consider proposed amendments to the Zoning and Development By-law, Official Development Plans, Sign By-law and to designate property as protected heritage property and to enter into a Heritage Revitalization Agreement.

PRESENT: Mayor Larry Campbell
 Councillor David Cadman
 Councillor Peter Ladner
 Councillor Raymond Louie
 Councillor Tim Louis
 Councillor Anne Roberts
 Councillor Tim Stevenson
 *Councillor Sam Sullivan
 Councillor Ellen Woodsworth

ABSENT: Councillor Fred Bass (Leave of Absence - Civic Business)
 Councillor Jim Green (Civic Business)

CITY CLERK'S OFFICE: Laura Kazakoff, Meeting Coordinator

*Denotes absence for a portion of the meeting.

COMMITTEE OF THE WHOLE

MOVED by Councillor Louis
 SECONDED by Councillor Cadman

THAT this Council resolve itself into Committee of the Whole, Mayor Campbell in the Chair, to consider proposed amendments to the Zoning and Development By-law, Official Development Plans, Sign By-law, to designate property as protected heritage property and to enter into a Heritage Revitalization Agreement.

CARRIED UNANIMOUSLY

1. Text Amendment: Zoning and Development By-law, CD-1s, and Official Development Plans

An application by the Director of Current Planning was considered as follows:

Summary: Housekeeping amendments to the Zoning and Development By-law, including CD-1s and Official Development Plans.

The Director of Current Planning recommended approval.

Staff Comments

Dave Thomsett, Senior Planner, Rezoning Centre, was present to respond to questions.

Summary of Correspondence

No correspondence was received since the date the application was referred to Public Hearing.

Speakers

The Mayor called for speakers for and against the application and none were present.

Council Decision

MOVED by Councillor Louis

THAT the application by the Director of Current Planning to amend the Zoning & Development By-law, CD-1 By-laws and Official Development Plans generally as set out in Appendices A & B of the Policy Report "Miscellaneous Text Amendments: Zoning and Development By-law, CD-1 By-laws, and Official Development Plans, Zoning and Development Fee By-law and Policies and Guidelines" dated September 23, 2003, be approved.

CARRIED UNANIMOUSLY
(Councillor Sullivan absent for the vote)

BY-LAWS

MOVED by Councillor Cadman
SECONDED by Councillor Louie

THAT Council, except for those members excused as noted in the agenda, enact the by-laws listed on the agenda for this meeting as numbers 1 to 11 inclusive, and authorize the Mayor and City Clerk to sign and seal the enacted by-laws.

CARRIED UNANIMOUSLY

1. A By-law to amend Zoning and Development By-law No. 3575 (re miscellaneous text amendments) (By-law No. 8758)
2. A By-law to amend By-law Nos. 6180, 6320, and 8587 which amended Zoning and Development By-law No. 3575 by rezoning certain areas to CD-1 (By-law No. 8759)
3. A By-law to amend miscellaneous CD-1 By-laws (re miscellaneous text and residential storage amendments) (By-law 8760)

(Councillors Bass, Green and Sullivan excused from voting)

4. A By-law to amend Zoning and Development By-law No. 3575 (re miscellaneous text and residential storage amendments) (By-law 8761)

(Councillors Bass, Green and Sullivan excused from voting)

5. A By-law to amend Downtown District Official Development Plan By-law No. 4912, Downtown-Eastside/Oppenheimer District Official Development Plan By-law No. 5532, and Southeast Granville Slopes Official Development Plan By-law No. 5752 (By-law 8762)

(Councillors Bass, Green and Sullivan excused from voting)

6. A By-law to amend Solid Waste and Recycling By-law No. 8417 to regulate certain 2004 utility fees and miscellaneous amendments (By-law 8763)

7. A By-law to amend Water Works By-law No. 4848 (2004 Fees and miscellaneous amendments) (By-law 8764)

8. A By-law to authorize the borrowing of certain sums of money from January 8, 2004 to January 7, 2005 pending the collection of real property taxes (By-law No. 8765)

9. A By-law to amend By-law No. 8093, being the Sewer and Watercourse By-law (Establishment of 2004 Sewer Use and Connection Rates) (By-law No. 8766)

10. A By-law to amend License By-law No. 4450 re 2004 marina operator fee increases

(By-law No. 8767)

11. A By-law to amend Impounding By-law No. 3519 (2004 Charges re Towing Service Contract) (By-law 8768)